



USACE SAVANNAH IDIQ TASK ORDER 01

Guantanamo Bay
CHU Facility Condition Assessment
Final Recommendation Report

PREPARED FOR



**US Army Corps
of Engineers®**
Savannah District

13 APRIL 2020



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CERTIFICATION

BLACK & VEATCH has completed a Facility Condition Assessment of the Containerized Housing Units (CHUs) for Office of Military Commissions (OMC) Naval Station, Guantanamo Bay, Cuba.

The conclusions and recommendations presented in this report are in part based on the Assessment Team's interviews of available property management personnel and maintenance contractors familiar with CHUs, our Assessment Team's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed. This evaluation did not include engineering calculations to determine the adequacy of the CHU's original design or existing systems. The Assessment Team walk-through observations were performed at 100% of the CHUs. There may be defects in the CHUs, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes facility conditions at the time that the observations and research were conducted.

This report has been prepared on behalf of and exclusively for the use of USACE Savannah District and Office of Military Commissions (OMC) Naval Station, Guantanamo Bay, Cuba for the purpose stated within Section 2.0 of this report. The report, or any excerpt thereof, shall not be used by any party other than USACE Savannah District and Office of Military Commissions (OMC) Naval Station, Guantanamo Bay, Cuba or for any other purpose than that specifically stated in our agreement or within Section 2.0 of this report without the express written consent of BLACK & VEATCH.

Any reuse or distribution of this report without such consent shall be at USACE Savannah District and Office of Military Commissions (OMC) Naval Station, Guantanamo Bay, Cuba and the recipient's sole risk, without liability to BLACK & VEATCH.

Any questions regarding this report should be directed to Nicholas Viviano at VivianoNJ@BV.com or by calling 913.458.8956.

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1. EXECUTIVE SUMMARY

1.1. SUMMARY OF FINDINGS AND RECOMMENDATIONS

The property information is summarized in the table below. More detailed descriptions may be found in the various sections of the report and in the Appendices.

Property Information	
Address:	Camp Justice, Naval Station, Guantanamo Bay, Cuba
Year constructed/installed:	CHUs Nos. 1-25 were ~2008 and CHUs Nos.26-50 were ~2012
Current owner of property:	Department of Defense
Department occupying CHUs:	Office of Military Commissions (OMC)
Current usage of property:	Temporary housing for visiting prosecuting and defense attorneys
Management Point of Contact:	Duane Alston, OSD-OMC – Program Manager
Site area:	N/A; portion of abandoned flight line
Gross floor area:	286 s.f/per CHU
Number of CHUs:	50
Number of stories:	Single story structures
Parking type and number of spaces:	No identified parking dedicated to CHUs
Building construction:	Pre-finished insulated metal panels with structural tube steel
Bay Column Spacing:	N/A
Interior vertical clearance:	8' clearance
Roof construction:	Pre-finished insulated metal roof panels
Exterior Finishes:	Pre-finished insulated metal wall panels
Heating and/or Air-conditioning:	10,000 BTU Built-in Room Air Conditioner
Fire and Life/Safety:	Internal & External Fire Detection/Alert
Dates of visit:	12/13/19 thru 12/17/19
Point of Contact (POC):	Toprane Coatney, OMC-S Logistics Manager

Generally, the CHUs appear to have been constructed within industry standards in force at the time of construction. The CHUs appear to have received as-needed maintenance since they were first installed.

According to Toprane Coatney, the property has had a limited capital improvement expenditure program over the past 7-11 years, primarily consisting of repair and/ or replacement of equipment and building systems as needed. Supporting documentation was not provided in support of these claims but some of the work is evident.

It is important to note that according to Toprane Coatney, the CHUs are not Joint Travel Regulation (JTR) compliant.

Based on the facility condition assessments, that were conducted on 13-17 December 2019, and all of the supplemental supporting data contained within this Facility Condition Assessment Final Recommendation Report, Black & Veatch has concluded that CHUs #1-50 located at Camp Justice, Naval Station, Guantanamo Bay, Cuba are in “Poor” overall condition and should be replaced.

1.2. FOLLOW-UP RECOMMENDATIONS

Black & Veatch recommends that the Office of Military Commissions exercises Options #1 and #2 of our negotiated task order with USACE Savannah to move forward with the development of the 1391 (Option #1) and the associated 15% Concept Drawings (Option #2) for the replacement of the CHUs.

1.3. OPINIONS OF PROBABLE COST

The cost estimates are based on quantities developed from the estimator’s understanding of the proposed scope of work. The documents used to develop the scope of work include: SOW, Site Visit Trip report, and the Hanna-Bay West Environmental Assessment of CHUs document dated January 2020. The values presented in this report represent the opinions and evaluations of the work as defined by the estimators’ understanding of the proposed work. Comparisons to work previously completed at other military installations were also used as a basis for productivity and appropriate markups.

Please refer to the Basis of Estimate (Appendix C), dated 31 January 2020, included within this report for additional details regarding the build-up of the cost estimates.

The estimated cost for the repair and capital reserve items noted within this report for each CHU are provided in the Appendix of this report.

1.4. METHODOLOGY

Based upon our observations, research and judgment, along with consulting commonly accepted empirical Expected Useful Life (EUL) tables, BLACK & VEATCH has rendered our opinion as to when a system or component will most probably necessitate replacement. Accurate historical replacement records provided by the facility manager are typically the best source for this data. Exposure to the weather elements, initial system quality and installation, extent of use, the quality and amount of preventive maintenance exercised are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its effective age.

In addition to determining the EUL and the RUL for each major prime system and building component, BLACK & VEATCH has categorized each cited deficiency within one of the following four Priorities:

Currently Critical (Year 1)

Items in this category require immediate action and include corrective measures to:

- Return a building component to normal operation
- Stop accelerated deterioration

- Replace items that have reached or exceeded their useful service life
- Correct a cited safety hazard

Potentially Critical (Years 2-3)

Items in this category require action in the next 2-3 years and include corrective measures to:

- Return a building component to normal operation
- Stop rapid deterioration
- Correct potential life safety issues and/or code hazards
- Correct building components that are experiencing Intermittent operations

Necessary – Not Yet Critical (Years 4-5)

Items in this category require appropriate attention to preclude predictable deterioration, potential downtime, additional damage and higher costs to remediation if deferred further.

Recommended (Years 6-10)

Items in this category represent a sensible improvement to the existing conditions. These are not required for the most basic function of the facility; however, these projects will improve overall usability and/or reduce long-term maintenance costs.

Items in this category also represent anticipated required capital expenditures due to Estimated Useful Life (EUL) only. These systems are generally in good operational condition but will require replacement due to the system(s) finite life expectancy.

Condition of Facilities

The most common benchmark used to rate the overall condition of a facility is through the application of the Facility Condition Index (FCI). The FCI is developed by comparing the cost of the deferred maintenance requirements of a building to the corresponding value of the building. For this project the maintenance and repair backlog requirements are found in years 1–3 on the individual cost tables.

$$FCI = \frac{\text{Maintenance \& Repair}}{\text{Current Replacement Value}}$$

If only deferred maintenance is considered in the FCI calculations, the following condition ratings can be assigned based on the respective FCI range. Although it is acceptable to modify this rating criteria, the following is considered the industry standard.

<i>FCI Range</i>	<i>Condition Rating</i>
Under 0.05 (5%)	Good
Between 0.05 (5%) - 0.10 (10%)	Fair
Over 0.10 (10%)	Poor

The baseline FCI for the 50 CHUs located at Naval Station, Guantanamo Bay, Cuba is calculated in current year (2020) dollars by dividing the total cost of maintenance and repair backlog requirements (defined above) identified for the next three years, by the current replacement value. The resulting overall FCI for each of the 50 CHUs is referenced in the following Summary Cost Table based on the maintenance and repair backlog deficiencies identified in the individual Cost Tables.

FACILITY CONDITION

ASSESSMENT

By comparing the facility condition index ratings to the nationally established benchmark FCI, the CHUs located at Naval Station, Guantanamo Bay, Cuba have an overall “Poor” condition rating.

The Maintenance & Repair items are deficiencies that have not been corrected to date. This is also referenced as the backlog. These deficiencies must be corrected in order to return the CHU to full operational capability.

CHU #	Total Maintenance & Repair Backlog	Current Replacement Value (CRV)	Facility Condition Index (FCI)	CHU #	Total Maintenance & Repair Backlog	Current Replacement Value (CRV)	Facility Condition Index (FCI)
1	\$58,734	\$114,144	0.515	26	\$28,712	\$114,144	0.252
2	\$58,734	\$114,144	0.515	27	\$36,893	\$114,144	0.323
3	\$58,734	\$114,144	0.515	28	\$36,893	\$114,144	0.323
4	\$58,734	\$114,144	0.515	29	\$36,893	\$114,144	0.323
5	\$58,734	\$114,144	0.515	30	\$36,893	\$114,144	0.323
6	\$58,734	\$114,144	0.515	31	\$36,893	\$114,144	0.323
7	\$58,734	\$114,144	0.515	32	\$36,893	\$114,144	0.323
8	\$58,734	\$114,144	0.515	33	\$36,893	\$114,144	0.323
9	\$58,734	\$114,144	0.515	34	\$36,893	\$114,144	0.323
10	\$58,734	\$114,144	0.515	35	\$36,893	\$114,144	0.323
11	\$58,734	\$114,144	0.515	36	\$36,893	\$114,144	0.323
12	\$58,734	\$114,144	0.515	37	\$36,893	\$114,144	0.323
13	\$58,734	\$114,144	0.515	38	\$36,893	\$114,144	0.323
14	\$58,734	\$114,144	0.515	39	\$36,893	\$114,144	0.323
15	\$58,734	\$114,144	0.515	40	\$36,893	\$114,144	0.323
16	\$58,734	\$114,144	0.515	41	\$36,893	\$114,144	0.323
17	\$58,734	\$114,144	0.515	42	\$36,893	\$114,144	0.323
18	\$58,734	\$114,144	0.515	43	\$36,893	\$114,144	0.323
19	\$58,734	\$114,144	0.515	44	\$36,893	\$114,144	0.323
20	\$58,734	\$114,144	0.515	45	\$36,893	\$114,144	0.323
21	\$58,734	\$114,144	0.515	46	\$36,893	\$114,144	0.323
22	\$58,734	\$114,144	0.515	47	\$36,893	\$114,144	0.323
23	\$58,734	\$114,144	0.515	48	\$36,893	\$114,144	0.323
24	\$58,734	\$114,144	0.515	49	\$36,893	\$114,144	0.323
25	\$58,734	\$114,144	0.515	50	\$36,893	\$114,144	0.323

2. PURPOSE AND SCOPE

2.1. PURPOSE

The purpose of this report is to assist the Office of Military Commissions in evaluating the physical aspects of this property and how its condition may affect the Office of Military Commission's financial decisions over time. For this Facility Condition Assessment, the major independent building components were observed and their physical conditions were evaluated in accordance with DoD FCA and ASTM E2018-01 standards. These components include the site and building exteriors and representative interior areas. The estimated cost for repairs and/or capital reserve items are included in the enclosed cost tables. All findings relating to these opinions of probable costs are included in the relevant narrative sections of this Report.

Where applicable, the property management staff was interviewed for specific information relating to the physical property, code compliance, available maintenance procedures, and other documentation.

2.2. SCOPE

DoD FCA and ASTM E2018-01 requires that any deviations from the standards be so stated within the report. BLACK & VEATCH's probable cost threshold limitation is reduced from the standard \$3,000 to \$100, thus allowing for a more comprehensive assessment on smaller scale facilities. Note, the probable cost threshold limitation is essentially the minimum dollar limit at which a deficiency would be included in the Facility Condition Assessment.

In lieu of providing written record of communication forms, personnel interviewed from the facility and government agencies are identified in Section 2.3. Relevant information based on these interviews is included in Section 2.3 and other applicable report sections.

The Assessment Team visited each CHU to evaluate the general condition of the CHUs and site improvements, review available construction documents in order to familiarize themselves with and be able to comment on the in-place construction systems, life safety, mechanical, electrical and plumbing systems, and the general built environment. The Assessment Team conducted a walk-through survey of the CHUs in order to observe building systems and components, identify physical deficiencies and formulate recommendations to remedy the physical deficiencies.

- As a part of the walk-through survey, the Assessment Team surveyed 100% of the CHU's interior. In addition, the Assessment Team surveyed the exterior of the properties including the CHU's exterior, roofs, and decking/sidewalk/pavement and any other improved features.
- The Assessment Team has developed opinions based on their facility assessment, interviews with maintenance staff, and interviews with relevant maintenance contractors (if applicable), and experience gained on similar properties previously evaluated. The Assessment Team also attempted to interview other stakeholders who are knowledgeable of the subject property's physical condition and operation or knowledgeable of similar systems to gain comparative information to use in evaluation of the subject property.

- The Assessment Team made a request to review documents and information provided by the on-site building maintenance staff that could also aid the knowledge of the subject property's physical improvements, extent and type of use, and/or assist in identifying material discrepancies between reported information and observed conditions.

2.3. PERSONNEL INTERVIEWED

The following personnel from the facility and government agencies were interviewed in the process of conducting the Facility Condition Assessment:

Name and Title	Organization	Phone Number
Toprane Coatney, Logistics Manager	Office of Military Commissions	757-458-5101

BLACK & VEATCH was escorted by Toprane Coatney, the Point of Contact (POC) during the Facility Condition Assessment. The POC is the Office of Military Commissions Logistics Manager and is not responsible for on-site building maintenance. All on-site building maintenance is executed by Vectrus Systems Corporation, a wholly-owned subsidiary of Colorado Springs-based government services company Vectrus, Inc.

2.4. DOCUMENTATION REVIEWED

Prior to the Facility Condition Assessment, relevant documentation was requested that could aid in the knowledge of the subject property's physical improvements, extent and type of use, and/or assist in identifying material discrepancies between reported information and observed conditions. The review of requested documents does not include comment on the accuracy of such documents or their preparation, methodology, or protocol.

Unfortunately, none of the following documents were provided for review while performing the Facility Condition Assessment:

- Floor plans
- Construction drawings
- Various inspection reports

3. ACCESSIBILITY & ENVIRONMENTAL

3.1. ADA ACCESSIBILITY

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “commercial facilities” on the basis of disability. Regardless of its age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

Buildings completed and occupied after January 26, 1992 are required to comply fully with the ADAAG. Existing facilities constructed prior to this date are held to the lesser standard of compliance to the extent allowed by structural feasibility and the financial resources available. As an alternative, a reasonable accommodation pertaining to the deficiency must be made.

During the Facility Condition Assessment, a limited visual observation for ADA accessibility compliance was conducted. The scope of the visual observation was limited to those areas set forth in BLACK & VEATCH’s *Abbreviated Accessibility Checklist* provided in Appendix D of this report. It is understood by the USACE Savannah District and Office of Military Commissions that the limited observations described herein does not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of BLACK & VEATCH’s undertaking. Only a representative sample of areas was observed and, other than as shown on the Abbreviated Accessibility Checklist, actual measurements were not taken to verify compliance. ADA compliance issues inside spaces are not within the scope of the survey.

The CHUs generally appear to be not accessible as stated within the defined priorities of Title III of the Americans with Disabilities Act.

A full ADA Compliance Survey may reveal some aspects of the property that are not in compliance.

3.2. ENVIRONMENTAL

BLACK & VEATCH performed a limited visual assessment for the presence of mold, conditions conducive to mold, and evidence of moisture in readily accessible interior areas of the property.

Observations/Comments:

- There was suspect mold observed under the floor tiles and evidence of moisture was present along the insulated metal roof and wall panels.
- As part of our scope of work, BLACK & VEATCH was required to incorporate the recommendations of the findings identified in the Environmental Assessment of CHUs report, prepared by Hana-Bay West, LLC, dated March 2020. Please refer to Appendix F for a detailed list of the recommendations. Where appropriate the estimated cost for the recommendations have been included in the Deficiency Cost Tables.

4. EXISTING BUILDING EVALUATION

4.1. UNIT TYPES

The following table identifies the reported unit types and mix at the subject property.

Unit Types and Mix			
Quantity	Type	Vacant Units	Down Units
50	Two Bedroom CHUs	45	0
50	TOTAL	45	0

4.2. UNITS OBSERVED

BLACK & VEATCH observed 100 percent of the CHUs in order to gain a clear understanding of the property's overall condition. Other areas accessed included the exterior of the property, the roofs, and the interior areas.

A "down unit" is a term used to describe a non-occupied unit due to poor conditions such as fire damage, water damage, missing equipment, damaged floor, wall or ceiling surfaces, or other significant deficiencies. According to the POC, there are no down units. No down units were observed during the site visit.

No areas were unavailable for observation during the site visit.

5. SITE IMPROVEMENTS

5.1. UTILITIES

The following table identifies the utility suppliers and the condition of the services.

Site Utilities		
Utility	Supplier	Condition
Sanitary sewer	Naval Station, Guantanamo Bay, Cuba	Poor Condition
Storm sewer	N/A	N/A
Domestic water	Naval Station, Guantanamo Bay, Cuba	Poor Condition
Electric service	Naval Station, Guantanamo Bay, Cuba	Good Condition
Natural gas service	N/A	N/A

Observations/Comments:

- Both the domestic water and sanitary sewer utilities show advanced aging due to environmental factors.
- The condition assessment of the utilities that service the CHUs is not included in this report.

5.2. PARKING, PAVING, AND SIDEWALKS

There was no identified parking dedicated to CHUs. Some parking spaces were observed in what could be described as common area for Camp Justice which was within walking distance of the CHUs. Some of the CHUs were installed over portions of the abandoned flight line of the old McCalla Field. Other than concrete pads at the landings of the deck stairs that are associated with the CHU's common areas, there were no sidewalks in or around Camp Justice.

Observations/Comments:

- No deficiencies were observed that are associated with these areas.

5.3. GENERAL SITE IMPROVEMENTS

There were no site improvements directly associated with the CHUs other than an unfinished pressure treated wood decks along with unfinished pressure treated railings with a combination of metal pipe and unfinished pressure treated wood handrails and steps. The deck surface is covered with an unfinished pressure treated wood post and roof truss system that is topped with corrugated metal roof panels.

There is a concrete landing at the bottom of each set of pressure treated wood stairs.

Some of the stair treads had slip resistant tape.

BLACK & VEATCH made a decision to not associate any deficiencies for these General Site Improvements to any one specific CHU or divide the cost up over multiple CHUs. To capture these costs, there are two separate Deficiency Cost Tables associated with these General Site Improvements.

Observations/Comments:

- The overall condition of these building components are in fair to poor condition. Based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- The pressure treated wood decks, railing, handrails and the pressure treated wood post and roof truss system and metal roof is in fair to poor condition. Based on their individual estimated Remaining Useful Life (RUL), all of the stated components will require replacement during the evaluation period.
- Remove and replace all of the unfinished pressure treated wood deck surface including stairs with new sealed pressure treated wood decking and stairs. The estimated cost of this work is included in the Deficiency Cost Tables.
- Remove and replace all of the unfinished pressure treated wood handrails with new sealed pressure treated wood railings and handrails. The estimated cost of this work is included in the Deficiency Cost Tables.
- Remove and replace all of the unfinished pressure treated wood posts and roof trusses with new sealed pressure treated wood posts and roof trusses. The estimated cost of this work is included in the Deficiency Cost Tables.
- Remove and replace the existing corrugated metal roof panels. The estimated cost of this work is included in the Deficiency Cost Tables.
- Remove and replace all of the stair tread slip resistant tape at all stairs. The estimated cost of this work is included in the Deficiency Cost Tables.
- For CHUs No 1-25, re-paint all metal pipe handrails will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- For CHUs No 26-50, install painted metal pipe handrails at all stair locations and re-painting all metal pipe handrails will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

6. BUILDING ARCHITECTURAL AND STRUCTURAL SYSTEMS

6.1. FOUNDATIONS

All of the CHUs are supported by six (6) piers per each CHU. The piers are a combination of CMU block and pre-cast concrete piers. All piers are supported on a 3'x3' concrete footing.

Observations/Comments:

- The foundations are in good condition. Based on their individual estimated Remaining Useful Life (RUL) they will not require replacement during the evaluation period.
- No deficiencies were observed.

6.2. SUPERSTRUCTURE

All of the CHUs have a painted wide flange steel structural support frame that is bearing on the foundation system referenced above. The walls and roofs are supported by a painted structural tube steel frame.

Observations/Comments:

- The superstructures are in good condition. Based on their individual estimated Remaining Useful Life (RUL) they will not require replacement however re-occurring maintenance will be required during the evaluation period.
- All of the wide flange steel structural support frames will require re-priming and re-painting during the evaluation period to keep them protected from the elements. The estimated cost of this work is included in the Deficiency Cost Tables.
- All of the interior structural tube steel will need to be re-painted during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

6.3. ROOFING

All of the CHUs have metal roofs that are comprised of a series of pre-finished corrugated insulated roof panels. The roofs are finished with a painted on waterproofing roof membrane.

Observations/Comments:

- The metal roofs are in fair to poor condition. Based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- Remove and replace all pre-finished corrugated insulated roof panels on all CHUs. The estimated cost of this work is included in the Deficiency Cost Tables.

- Re-apply additional coats of painted on waterproofing roof membrane will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

6.4. EXTERIOR WALLS

All of the CHUs have pre-finished insulated metal wall panels. The top and bottom of the exterior walls and corners are flashes with pre-finished aluminum trim.

Observations/Comments:

- The overall condition of the exterior walls are in fair condition. Based on the estimated Remaining Useful Life (RUL) they will not require replacement during the evaluation period.
- Remove and re-caulk around all exposed interior and exterior transition joints will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

6.5. EXTERIOR AND INTERIOR STAIRS

The exterior stairs are addresses in Section 5.3. There are no interior stairs within the CHUs.

Observations/Comments:

- See the Observation/Comments under Section 5.3.

6.6. WINDOWS AND DOORS

Each CHU is equipped with two painted metal entry doors and frames, one door for each unit. Each door is equipped with an automatic door closure and a door stop mounted on the floor interior. The exterior doors have painted metal hinges and interior residential door knob keyed hardware with an interior thumb latch.

Each CHU is equipped with two painted interior wood doors and painted hollow metal frames for entry into the shared bathroom. Each interior door is equipped with painted hinges and residential door knob hardware with an interior thumb latch.

Each CHU is equipped with two (2) double pane aluminum sliding glass windows with screens. The windows are trimmed with painted wood trim.

Observations/Comments:

- The overall condition of the windows and doors are in good condition. Based on their individual estimated Remaining Useful Life (RUL) they will not require replacement however associated component replacement combined with re-occurring maintenance will be required during the evaluation period.
- Remove and replace all exterior door hardware to include lock-set and hinges will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-paint all exterior metal doors, both sides will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

- Re-paint all exterior metal door frames, both sides will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-paint all interior wood doors, both sides will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-paint all interior metal door frames, both sides will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-caulk around the interior and exterior of all aluminum sliding glass windows will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.

6.7. PATIO, TERRACE, AND BALCONY

For as general description of work associated with these features, please refer to Section 5.3 of this report.

Observations/Comments:

- See the Observation/Comments under Section 5.3.

6.8. COMMON AREAS, ENTRANCES, AND CORRIDORS

For a general description of work associated with these exterior features, please refer to Section 5.3 of this report.

Each CHU has two single bedrooms that share a common bathroom. The following table identifies the interior common areas and generally describes the finishes in each common area.

Common Area	Floors	Walls	Ceilings
Bathroom	Vinyl Floor Tile	Painted Drywall	Pre-finished Insulated Metal Wall Panels

In addition to the finished referenced above, each bathroom has a vinyl wall base.

Each bathroom is equipped with a fiberglass stand-up shower fixture complete with a shower head, floor drain and a shower curtain and rod.

The bathroom also has single residential grade toilet fixture with a foot flush valve (Model: American Standard).

Observations/Comments:

- The overall condition of the common area interior finishes are in fair to poor condition. Based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- The common area finishes are updated on an as-needed basis.

- The plywood subfloor and vinyl flooring within the CHUs bathrooms are in fair to poor condition. Based on its estimated Remaining Useful Life (RUL) and the exposure to adverse weather conditions, with the exception of CHU No. 26, the plywood subfloor and vinyl floor tiles will require immediate replacement and then all CHUs will require the same replacement every 2-3 years during the evaluation period. The plywood subfloor replacements will also need to include applying waterproof spray foam insulation to the exposed underside to protect the exposed plywood from the elements. The estimated cost of this work is included in the Deficiency Cost Tables.
- Interior drywall painting will also be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- All exposed interior tube steel will require re-painting during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Remove and replace toilet fixtures. The estimated cost of this work is included in the Deficiency Cost Tables.

6.9. INTERIOR FINISHES

The following table generally describes the interior finishes in the CHUs:

Typical Space Finishes			
Room	Floor	Walls	Ceiling
Bedroom	Vinyl Floor Tile	Pre-finished Insulated Metal Wall Panels	Pre-finished Insulated Metal Wall Panels
Bathroom	Vinyl Floor Tile	Painted Drywall	Pre-finished Insulated Metal Wall Panels

In addition to the above referenced room finishes, the bedrooms have painted wood baseboard trim and the bathrooms have a vinyl wall base.

Each bedroom is equipped with a full-size top-freezer refrigerator (Frigidaire, model: FFTA103352), press-board vanity cabinet with plastic/composite molded hand sink and underneath storage, a wall mounted mirror, desk and chair, stand-up wall locker and twin-size bed.

Observations/Comments:

- The overall condition of the interior finishes are in fair to poor condition. Based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- The interior finishes are updated on an as-needed basis.
- The plywood subfloor and vinyl flooring within the CHUs are in fair to poor condition. Based on its estimated Remaining Useful Life (RUL) and the exposure to adverse weather conditions, with the exception of CHU No. 26, the plywood subfloor and vinyl floor tiles will require immediate replacement and then all CHUs will require the same replacement every 2-3 years during the evaluation period. The plywood subfloor replacements will also need to include applying waterproof spray form insulation to the exposed underside to protect the exposed plywood from the elements. The estimated cost of this work is included in the Deficiency Cost Tables.

- Interior drywall painting will also be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Replacement of the painted wood baseboard trim will also be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-caulking the complete interior of the CHUs at the pre-finished insulated metal wall panels, tube steel and drywall intersections will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- All exposed interior tube steel will require re-painting during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.
- Re-caulking around the vanity and sink will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Tables.



7. BUILDING MECHANICAL AND ELECTRICAL SYSTEMS

7.1. BUILDING HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)

Each CHU is equipped with one (1) 1/50 HP exhaust fan located on the exterior wall of the bathroom. The exhaust fan consists of a plastic body and a painted metal exterior exhaust hood with spring-loaded outlet baffles. The exhaust fan is wired in parallel with the bathroom wiring, and only operates when the light fixture is powered.

Each CHU is equipped with two (2) Frigidaire 10,000 BTU Through-the-Wall Air Conditioners (model: FFTA103352). All observed units are programmed to run 24 hours a day/7 days a week and have drastically reduced their remaining service life as a result.

Each CHU is equipped with two (2) Kenmore 30-pint portable dehumidifiers (model: 40554530410). All observed units are programmed to run at 30% humidity, which results in the units running 24 hours a day/7 days a week due to environmental conditions. As a result, the remaining service life of the units have been drastically reduced.

Each CHU is equipped with one (1) Titan tankless electric water heater (model: SCR2 N-85). The units require 240V electric power and provide a 4 GPM flow rate through ½” copper tubing. The unit serves two (2) sinks and one (1) shower.

Observations/Comments:

- The overall condition of the HVAC systems are in poor condition. Based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- Replacement of the exhaust fans and exterior hoods will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the air condition units will be required during the evaluation period due to their extensive use and environmental conditions. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the dehumidification units will be required during the evaluation period due to their extensive use and environmental conditions. The estimated cost of this work is included in the Deficiency Cost Table.
- The dehumidification drain line penetrating the floor of the unit is not properly protected and will require the installation of a boot and sealant during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the electric water heaters units will be required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.

7.2. BUILDING PLUMBING

The main domestic water service to each CHU consists of 2.5" black PVC piping and penetrates each unit with a 1" PVC connection. The domestic water system servicing the sinks, hot water heater and shower are routed on the interior of the unit via a combination of ½" copper piping and ½" PVC piping.

Each CHU is equipped with one (1) high-pressure 2" domestic water line servicing the toilet.

The sanitary sewer system servicing each CHU consists of a 2" PVC building penetration to a 4" PVC common header pipe. Each CHU is equipped with one (1) 2" PVC sewer vent routed internally from the 6" sewage line service along the plumb wall and penetrates the roof. The penetration is sealed with a rubber boot and caulk.

Observations/Comments:

- The overall condition of the building plumbing system is in Fair condition.
- Replacement of the PVC sewer vent boot and sealant will be required during this evaluation. The estimated cost of this work is included in the Deficiency Cost Table.

7.3. BUILDING ELECTRICAL

As referenced in Section 5.1, the main electrical distribution system servicing the general CHU area is not part of this facility condition assessment. Included in the assessment are the immediate electrical penetrations servicing each CHU and the interior electrical systems. The tie-down system securing each CHU (six locations surrounding the CHU structural frame) double as the grounding system. The grounding system consists of ¼” braided aluminum strands bolted to the structural framing system and secured below grade.

Each CHU is equipped with one (1) 100 Amp services routed via 3” PVC conduit on the exterior of the unit and penetrates the underside of the CHU directly below the electrical panel. The individual electrical services for each component are illustrated in Appendix B: Photographic Records.

During night-time conditions, Black and Veatch observed the lighting conditions in the CHU area. It is B&V’s opinion that the lighting is adequate.

Each CHU is equipped with both interior and exterior lighting. The interior of the CHU is equipped with:

- Two (2) Florescent 4’ strip lighting located in each bedroom
- Two (2) Florescent 1’ strip lighting located above each sink

All aforementioned interior lighting includes metal junction boxes and 1” rigid galvanized conduit with industrial mountings.

Each CHU is equipped with one (1) incandescent exterior light, secured via metal junction boxes and 1” rigid galvanized conduit with industrial mountings.

Each CHU is equipped with two (2) coaxial communication services, one per bedroom.

Each CHU is equipped with two (2) phone jack communication services, one per bedroom.

Observations/Comments:

- The overall condition of the building electrical systems are in good condition. Based on the estimated Remaining Useful Life (RUL) they will not require replacement during the evaluation period.
- All exterior wall-mounted light fixtures will require the existing sealant to be removed and reinstalled during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the electrical panel covers within each CHU will be required during this evaluation. The estimated cost of this work is included in the Deficiency Cost Table.

7.4. FIRE PROTECTION SYSTEMS

The fire protection systems for the CHUs includes both interior and exterior fire detection/alert systems.

The interior of each CHU is equipped with two (2) Edwards detection systems, which are located in each bedroom and housed in metal junction boxes. Two (2) alarm systems, including visual and audible alert are connected to the detection system and housed in metal junction boxes. The wiring is routed via 1" rigid galvanized conduit and secured using industrial mountings.

The exterior of each CHU is equipped with one (1) Signaling Pull station and one (1) alarm system including visual and audible alert. The wiring is routed via 1/2" rigid galvanized conduit and secured using industrial mountings.

Observations/Comments:

- The overall condition of the fire protection systems are in good condition. However, based on the estimated Remaining Useful Life (RUL) they will require replacement during the evaluation period.
- Based on the severe weather conditions, the exterior conduit penetration sealant will require removal and reinstallation during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the interior detection systems are required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Replacement of the interior alarm systems are required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.
- Based on the severe weather conditions, replacement of the exterior pull-alarm systems are required during the evaluation period. The estimated cost of this work is included in the Deficiency Cost Table.

8. APPENDICIES

- Appendix A: Deficiency Cost Tables
- Appendix B: Photographic Records
- Appendix C: Basis of Estimate
- Appendix D: Abbreviated Accessibility Check
- Appendix E: Acronyms and Out of Scope Items
- Appendix F: Environmental Assessment Recommendations

APPENDIX A: DEFICIENCY COST TABLES

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	01

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	2

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term	
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029		
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	3

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$1,202		
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	4

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	5

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	6

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	7

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	8

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	9

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	10

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	11

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592	
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057	
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	12

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	13

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	14

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	15

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	16

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	17

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog				Year	Year	Year	Year	Year	Year	Year	Total	
								2020	2021	2022	2023									2024
BUILDING EXTERIOR																				
SUPERSTRUCTURE & FLOORS																				
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																				
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592	
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057	
EXTERIOR WALLS																				
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																				
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																				
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																				
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																				
HEATING, VENTILATION & AIR-CONDITIONING																				
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																				
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																				
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																				
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419		
Total Maintenance and Repair Backlog:								\$58,734												

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	18

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	19

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021		
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592	
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057	
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	20

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$1,202		
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	21

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	22

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	23

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	24

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year 2020	Year 2021	Year 2022	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Year 2028	Year 2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$11,230
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$4,178
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204	\$0	\$2,408
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$1,202
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419
Total Maintenance and Repair Backlog:								\$58,734										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	25

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.515

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559	\$0	\$5,118	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010	\$0	\$4,021	
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$3,592
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$9,870	
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$1,196	
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$10,310	
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	GY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$1,910	
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$597	
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$8,223	
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$12,155	
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	GY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$18,696	
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$1,469	
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$3,743	\$0	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$11,230	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$4,178	
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$2,408	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$530	
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$1,128	
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$1,202	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$143	
Subtotals								\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$23,760	\$1,265	\$118,419	
Total Maintenance and Repair Backlog:								\$58,734											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	P/T Wood Decking Structure for CHUs 1-25

Building Size (SF):	N/A
Current Replacement Value (CRV):	\$224,061
Facility Condition Index (FCI):	N/A

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
SITework																			
GENERAL SITE IMPROVEMENTS - DECKING																			
P/T Wood.	Seal all replaced P/T wood.	CY, DM	1	LS	\$8,558.95	1.00	\$8,559	\$0	\$0	\$8,559	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$17,118
P/T Wood decking.	Remove and replace.	CR, DM	5,140	SF	\$7.41	1.00	\$38,087	\$0	\$38,087	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$38,087
P/T Wood deck stairs.	Remove and replace.	CR, DM	500	SF	\$59.98	1.00	\$29,990	\$0	\$29,990	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$29,990
P/T Wood handrails 2"x4".	Remove and replace.	CR, DM	250	LF	\$190.87	1.00	\$47,718	\$0	\$47,718	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$47,718
P/T Wood posts - 4"x4"x13".	Remove and replace.	CR, DM	58	EA	\$98.67	1.00	\$5,723	\$0	\$5,723	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,723
P/T Roof truss system - 2"x4"@ 16" o.c.	Remove and replace.	CR, DM	5,016	SF	\$3.91	1.00	\$19,613	\$0	\$19,613	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,613
P/T Wood railings.	Remove and replace.	CR, DM	338	LF	\$11.79	1.00	\$3,985	\$0	\$3,985	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,985
Corrugated metal roof.	Remove and replace.	CR, DM	5,016	SF	\$12.12	1.00	\$60,794	\$0	\$60,794	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$60,794
Stair tread slip tape.	Remove and replace.	CR, DM	269	LF	\$34.75	1.00	\$9,348	\$0	\$9,348	\$0	\$0	\$9,348	\$0	\$0	\$9,348	\$0	\$0	\$0	\$28,043
Metal pipe handrails.	Re-paint.	CY, DM	27	LF	\$8.35	1.00	\$225	\$0	\$225	\$0	\$0	\$0	\$0	\$0	\$0	\$225	\$0	\$0	\$451
Subtotals								\$0	\$215,482	\$8,559	\$0	\$9,348	\$0	\$0	\$18,132	\$0	\$0	\$0	\$251,521
Total Decking Maintenance & Repair Backlog Cost Per CHU:										\$8,962									
Total Decking Current Replacement Value Cost per CHU:										\$8,962									

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	26

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.252

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog										Total Over Term
								Year	Year	Year	Year	Year	Year	Year	Year	Year	Year	
								2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	
BUILDING EXTERIOR																		
SUPERSTRUCTURE & FLOORS																		
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																		
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																		
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$7,896
EXTERIOR WINDOWS & DOORS																		
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$957
BUILDING INTERIOR																		
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																		
Vinyl tile	Remove and replace. (Scope completed in 2019)	CR-DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Wood baseboards	Remove and replace. (Scope completed in 2019)	CR-DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$597
Wood sub-floor.	Remove and replace. (Scope completed in 2019)	CR-DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Wood sub-floor.	Apply waterproof spray foam (Scope completed in 2019)	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$7,293
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	1.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace w th Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																		
HEATING, VENTILATION & AIR-CONDITIONING																		
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain l ne.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																		
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$424
ELECTRICAL																		
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																		
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$114
Subtotals								\$0	\$0	\$28,712	\$1,692	\$16,442	\$1,265	\$14,280	\$0	\$11,701	\$0	\$74,092
Total Maintenance and Repair Backlog:								\$28,712										

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	27

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								Year	Year	Year									
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$0	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$0	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$0	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$0	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$0	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$0	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$0	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$0	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$0	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	28

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	29

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	30

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	31

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	32

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	33

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	34

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total	
								Year	Year	Year										
								2020	2021	2022										
BUILDING EXTERIOR																				
SUPERSTRUCTURE & FLOORS																				
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010	
ROOFING																				
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694	
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057	
EXTERIOR WALLS																				
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$7,896
EXTERIOR WINDOWS & DOORS																				
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877	
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$957
BUILDING INTERIOR																				
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																				
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																				
HEATING, VENTILATION & AIR-CONDITIONING																				
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$2,785	
PLUMBING																				
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$424
ELECTRICAL																				
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																				
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$114
Subtotals								\$0	\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893												

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	35

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total	
								2020	2021	2022										
BUILDING EXTERIOR																				
SUPERSTRUCTURE & FLOORS																				
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559	
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010	
ROOFING																				
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694	
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057	
EXTERIOR WALLS																				
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$7,896
EXTERIOR WINDOWS & DOORS																				
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343	
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$957
BUILDING INTERIOR																				
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																				
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044	
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347	
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731	
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																				
HEATING, VENTILATION & AIR-CONDITIONING																				
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	
PLUMBING																				
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204	
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$424
ELECTRICAL																				
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30	
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90	
FIRE PROTECTION																				
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833	
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093	
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801	
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$114
Subtotals								\$0	\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893												

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	36

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	37

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$0	\$438	\$0
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$3,743
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$401	\$0	\$0	\$0	\$401
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	38

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	39

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	40

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	41

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	42

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	43

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	44

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								Year	Year	Year									
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	45

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$3,743	\$0
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$1,393	\$0
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	46

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	47

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								Year	Year	Year									
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	48

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$2,694
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$7,896
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$957
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$8,248
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$1,910
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$597
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$6,578
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$9,724
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$14,957
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$1,101
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$424
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$902
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$114
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	49

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$0	\$438	\$0
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$3,743	\$0	\$3,743	\$0
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$1,393	\$0	\$1,393	\$0
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$401
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394	
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	50

Building Size (SF):	286
Current Replacement Value (CRV):	\$114,144
Facility Condition Index (FCI):	0.323

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
BUILDING EXTERIOR																			
SUPERSTRUCTURE & FLOORS																			
Steel framing.	Re-prime and re-paint.	CY, DM	300	LF	\$8.53	1.00	\$2,559	\$0	\$0	\$0	\$0	\$2,559	\$0	\$0	\$0	\$0	\$0	\$0	\$2,559
Interior tube steel.	Re-paint.	CY, DM	425	LF	\$4.73	1.00	\$2,010	\$0	\$0	\$0	\$0	\$2,010	\$0	\$0	\$0	\$0	\$0	\$0	\$2,010
ROOFING																			
Roof membrane. Coat.	Re-apply painted on waterproofing	CY, DM	286	SF	\$3.14	1.00	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898	\$0	\$0	\$898
Roof. Metal panels.	Remove and replace.	CR, DM	286	SF	\$38.66	1.00	\$11,057	\$0	\$0	\$11,057	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$11,057
EXTERIOR WALLS																			
Caulking & sealant.	Remove & re-caulk.	CY, DM	300	LF	\$6.58	1.00	\$1,974	\$0	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0	\$1,974	\$0
EXTERIOR WINDOWS & DOORS																			
Metal doors and frames.	Re-paint.	CY, DM	2	EA	\$219.24	1.00	\$438	\$0	\$0	\$0	\$438	\$0	\$0	\$0	\$0	\$0	\$438	\$0	\$877
Door hardware/hinges	Remove and replace.	CR, DM	2	EA	\$1,171.43	1.00	\$2,343	\$0	\$0	\$2,343	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,343
Metal windows	Re-caulk interior & exterior.	CY, DM	2	EA	\$119.62	1.00	\$239	\$0	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0	\$239	\$0
BUILDING INTERIOR																			
COMMON AREAS, ENTRANCES AND CORRIDOR INTERIOR FINISHES																			
Vinyl tile	Remove and replace.	CR, DM	286	SF	\$7.21	1.00	\$2,062	\$0	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0	\$2,062	\$0
Wood baseboards	Remove and replace.	CR, DM	350	LF	\$5.84	1.00	\$2,044	\$0	\$0	\$2,044	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$2,044
Walls and ceilings.	Caulking: Costs included in "Interior Caulking - ALL"	CY	500	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Walls. Paint.	Re-paint.	CY, DM	480	SF	\$1.99	1.00	\$955	\$0	\$0	\$0	\$955	\$0	\$0	\$0	\$0	\$955	\$0	\$955	\$0
Wood doors and frames.	Re-paint.	CY, DM	2	EA	\$149.17	1.00	\$298	\$0	\$0	\$0	\$298	\$0	\$0	\$0	\$0	\$298	\$0	\$298	\$0
Wood sub-floor.	Remove and replace.	CR, DM	286	SF	\$5.75	1.00	\$1,645	\$0	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0	\$1,645	\$0
Wood sub-floor.	Apply waterproof spray foam insulation.	CR, DM	286	SF	\$8.50	1.00	\$2,431	\$0	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0	\$2,431	\$0
Vanity and hand sink.	Caulking: Costs included in "Interior Caulking - ALL"	CY	50	LF	\$0.00	4.00	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Areas of elevated fungi levels	Clean, see Envr. Rec. #2	CR, DM	1	EA	\$347.09	1.00	\$347	\$0	\$0	\$347	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$347
Entire CHU	Vacuum with HEPA sys., see Envr. Rec. #3	CR, DM	1	EA	\$1,730.67	1.00	\$1,731	\$0	\$0	\$1,731	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,731
Interior Caulking - ALL	Remove and replace with Silicone, see Envr. Rec. #4	CR, DM	570	LF	\$6.56	1.00	\$3,739	\$0	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0	\$3,739	\$0
HEATING, VENTILATING & AIR-CONDITIONING																			
HEATING, VENTILATION & AIR-CONDITIONING																			
Exhaust Fans	Replace, including exterior hood and sealant.	CR, DM	1	EA	\$367.15	1.00	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$0	\$367	\$0	\$367	\$0
Window Air Conditioner	Replace, including a boot and sealant.	CR, DM	2	EA	\$1,871.69	1.00	\$3,743	\$0	\$0	\$3,743	\$0	\$0	\$0	\$0	\$3,743	\$0	\$0	\$0	\$7,487
Portable Dehumidification Unit	Replace, including boot and sealant for drain line.	CR, DM	2	EA	\$696.34	1.00	\$1,393	\$0	\$0	\$1,393	\$0	\$0	\$0	\$1,393	\$0	\$0	\$0	\$0	\$2,785
PLUMBING																			
Water heater	Replace.	CR, DM	1	EA	\$1,203.79	1.00	\$1,204	\$0	\$0	\$0	\$0	\$1,204	\$0	\$0	\$0	\$0	\$0	\$0	\$1,204
Sewer Vent	Remove and replace boot and sealant.	CY, DM	1	EA	\$106.03	1.00	\$106	\$0	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0	\$106	\$0
ELECTRICAL																			
Exterior light fixtures	Remove and replace conduit penetration sealant.	CY, DM	1	EA	\$225.58	1.00	\$226	\$0	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0	\$226	\$0
Electrical devices. Switches & outlets.	Install outlet-covers on air conditioning outlet.	DM	2	EA	\$14.87	1.00	\$30	\$0	\$0	\$30	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$30
Electrical Distribution	Remove and replace electrical cover panel.	CR, DM, SF	1	EA	\$90.04	1.00	\$90	\$0	\$0	\$90	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$90
FIRE PROTECTION																			
Fire alarm, horn and strobe lights	Remove and replace interior detection devices.	CR, DM, SF	2	EA	\$416.25	1.00	\$833	\$0	\$0	\$0	\$0	\$833	\$0	\$0	\$0	\$0	\$0	\$0	\$833
Fire alarm, horn and strobe lights	Remove and replace interior alarm devices.	CR, DM, SF	2	EA	\$546.70	1.00	\$1,093	\$0	\$0	\$0	\$0	\$1,093	\$0	\$0	\$0	\$0	\$0	\$0	\$1,093
Fire alarm, horn and strobe lights	Remove and replace exterior pull-alarm.	CR, DM, SF	1	EA	\$400.66	1.00	\$401	\$0	\$0	\$401	\$0	\$0	\$401	\$0	\$0	\$0	\$0	\$0	\$801
Exterior conduit penetration	Remove and replace exterior conduit sealant.	CY, DM	2	EA	\$14.25	1.00	\$29	\$0	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0	\$29	\$0
Subtotals								\$0	\$0	\$0	\$36,893	\$1,692	\$20,149	\$1,265	\$17,987	\$0	\$15,407	\$0	\$93,394
Total Maintenance and Repair Backlog:								\$36,893											

**Facility Condition Assessment - Containerized Housing Units
OMC Naval Station, Guantanamo Bay
COST TABLE**

Date of Inspection:	12/13/19 thru 12/17/19
Site Name:	Camp Justice
Site Address:	Naval Station, Guantanamo Bay, Cuba
CHU Number:	P/T Wood Decking Structure for CHU's 26-50

Building Size (SF):	N/A
Current Replacement Value (CRV):	\$226,040
Facility Condition Index (FCI):	N/A

Work Type Categories:			
CR	Component Renewal	IX	Investigate
CY	Cyclic Maintenance	SF	Safety
DM	Deferred Maintenance	ST	Statutory

Prime System / System Component	Deficiency Description	Work Type	Quantity	U	Unit Cost	GTMO Factor	Subtotal	Maintenance & Repair Backlog			Year	Year	Year	Year	Year	Year	Year	Year	Total
								2020	2021	2022									
SITWORK																			
GENERAL SITE IMPROVEMENTS - DECKING																			
P/T Wood.	Seal all replaced P/T wood.	CY, DM	1	LS	\$8,558.95	1.00	\$8,559	\$0	\$0	\$8,559	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$17,118
P/T Wood decking.	Remove and replace.	CR, DM	5,140	SF	\$7.41	1.00	\$38,087	\$0	\$38,087	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$38,087
P/T Wood deck stairs.	Remove and replace.	CR, DM	500	SF	\$59.98	1.00	\$29,990	\$0	\$29,990	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$29,990
P/T Wood handrails 2"x4".	Remove and replace.	CR, DM	250	LF	\$190.87	1.00	\$47,718	\$0	\$47,718	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$47,718
P/T Wood posts - 4"x4"x13'.	Remove and replace.	CR, DM	58	EA	\$98.67	1.00	\$5,723	\$0	\$5,723	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,723
P/T Roof truss system - 2"x4"@ 16" o.c.	Remove and replace.	CR, DM	5,016	SF	\$3.91	1.00	\$19,613	\$0	\$19,613	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,613
P/T Wood railings.	Remove and replace.	CR, DM	338	LF	\$11.79	1.00	\$3,985	\$0	\$3,985	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,985
Corrugated metal roof.	Remove and replace.	CR, DM	5,016	SF	\$12.12	1.00	\$60,794	\$0	\$60,794	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$60,794
Stair tread slip tape.	Remove and replace.	CR, DM	269	LF	\$34.75	1.00	\$9,348	\$0	\$9,348	\$0	\$0	\$9,348	\$0	\$0	\$0	\$0	\$0	\$0	\$28,043
Metal pipe handrails.	Re-paint.	CY, DM	27	LF	\$8.35	1.00	\$225	\$0	\$225	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$225	\$0	\$451
Metal pipe handrails.	Install new handrail.	CR	27	LF	\$73.29	1.00	\$1,979	\$0	\$1,979	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,979
Subtotals								\$0	\$217,461	\$8,559	\$0	\$9,348	\$0	\$0	\$18,132	\$0	\$0	\$251,521	

Total Decking Maintenance & Repair Backlog Cost Per CHU:	\$9,041
Total Decking Current Replacement Value Cost per CHU:	\$9,041

APPENDIX B: PHOTOGRAPHIC RECORDS

PHOTOGRAPHIC RECORD

Project Name: Facilities Assessment of Containerized Housing Units (CHUs) for Office of Military Commissions (OMC), Naval Station, Guantanamo Bay (GTMO)

Date of Site Visit: 12/13/19 thru 12/17/19

		
<p>Photo #1: Typical right-side elevation of CHUs</p>		<p>Photo #2: Typical rear elevation of CHUs</p>
		
<p>Photo #3: Typical left side elevation of CHUs</p>		<p>Photo #4: Typical front elevation of CHUs</p>
		
<p>Photo #5: Roof detail at rear of CHUs</p>		<p>Photo #6: Typical aluminum sliding window</p>

PHOTOGRAPHIC RECORD

		
<p>Photo #7: Concrete block pier foundation sitting on spread footing</p>		<p>Photo #8: Cast in place concrete pier</p>
		
<p>Photo #9: Typical insulated aluminum interior wall and roof panels supported by tube steel</p>		<p>Photo #10: Typical 12''x 12'' peel and stick floor tile</p>
		
<p>Photo #11: Typical painted solid wood interior door separating bedroom and bathroom</p>		<p>Photo #12: Typical fiberglass stand-up shower fixture</p>

PHOTOGRAPHIC RECORD



Photo #13: Typical fiberglass stand-up shower fixture



Photo #14: Typical solid metal exterior door and frame



Photo #15: Typical painted wood baseboards



Photo #16: Each CHU has a full-size stand-up refrigerator/freezer.



Photo #17: All exterior penetrations need to be re-caulked

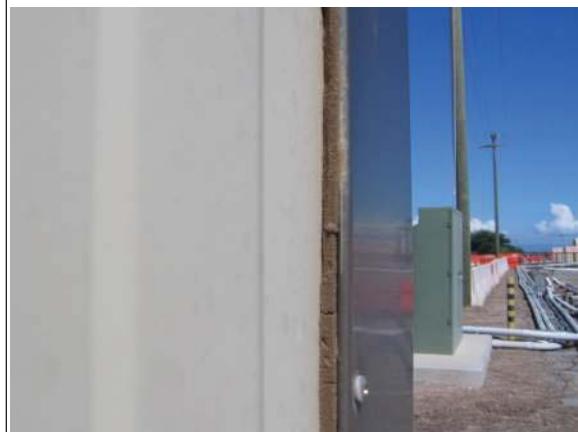








Photo #18: All exterior wall panels and aluminum trim intersections need to be re-caulked

PHOTOGRAPHIC RECORD

		
<p>Photo #19: All exterior penetrations need to be re-caulked</p>		<p>Photo #20: Re-paint all exterior doors and trim</p>
		
<p>Photo #21: Replace all door hardware</p>		<p>Photo #22: Replace all door hardware</p>
		
<p>Photo #23: Typical metal roof panels with waterproofing roof membrane</p>		<p>Photo #24: Typical exterior covered pressure treated wood deck</p>

PHOTOGRAPHIC RECORD



Photo #25: Typical exterior covered pressure treated wood truss and metal roof system



Photo #276: Typical pressure treated wood railing



Photo #27: Re-paint all metal pipe handrails



Photo #28: Replace all slip resistant stair tape



Photo #29: Replace all pressure treated wood railings






Photo #30: Typical pressure treated wood post on concrete piers supporting deck structure







PHOTOGRAPHIC RECORD

		
<p>Photo #31: Re-caulk around sink/vanity</p>		<p>Photo #32: Replace/re-caulk around all exterior light fixtures</p>
		
<p>Photo #33: Replace/re-paint all exterior exhaust covers</p>		<p>Photo #34: Replace all pressure treated wood decking and railings</p>
		
<p>Photo #35: Typical underside of CHUs with spray foam insulation</p>		<p>Photo #36: Re-paint all interior tube steel</p>

PHOTOGRAPHIC RECORD

		
<p>Photo #37: Re-paint all exterior doors and trim</p>		<p>Photo #38: Hand sink in pre-finished pressboard vanity</p>
		
<p>Photo #39: Re-paint all interior gyp. Board interior walls</p>		<p>Photo #40: Re-caulk complete interior at intersection of metal/gyp board walls and roof panels</p>
		
<p>Photo #41: Replace damaged toilet seats</p>		<p>Photo #42: Remove/replace complete sub-floor and re-install new floor tile</p>

PHOTOGRAPHIC RECORD

		
<p>Photo #43: Replace all painted wood baseboards</p>		<p>Photo #44: Re-caulk around all aluminum windows</p>
		
<p>Photo #45: Replace exterior covered pressure treated wood truss and metal roof system</p>		<p>Photo #46: Typical slip resistant tape at all pressure treated wood stairs</p>
		
<p>Photo #47: Replace all pressure treated wood railings</p>		<p>Photo #48: Replace all pressure treated wood decking</p>

PHOTOGRAPHIC RECORD

		
<p>Photo #49: Re-paint all exterior doors and trim</p>		<p>Photo #50: Re-caulk complete interior at intersection of metal/gyp board walls and roof panels</p>
		
<p>Photo #51: All exterior wall panels and aluminum trim intersections need to be re-caulked</p>		<p>Photo #52: Re-paint all exterior doors and trim</p>
		
<p>Photo #53: Remove/replace complete sub-floor and re-install new floor tile</p>		<p>Photo #54: Re-apply waterproofing roof membrane</p>

PHOTOGRAPHIC RECORD



Photo #55: Typical CHU water-heater



Photo #56: Water-heater name plate



Photo #57: Typical Deficiency: air conditioner fins bent and obstructed



Photo #58: Typical sink/cabinet assembly



Photo #59: Typical Air Conditioning Unit



Photo #60: Air conditioning unit name plate

PHOTOGRAPHIC RECORD



Photo #61: Typical electrical panel (100A Service)

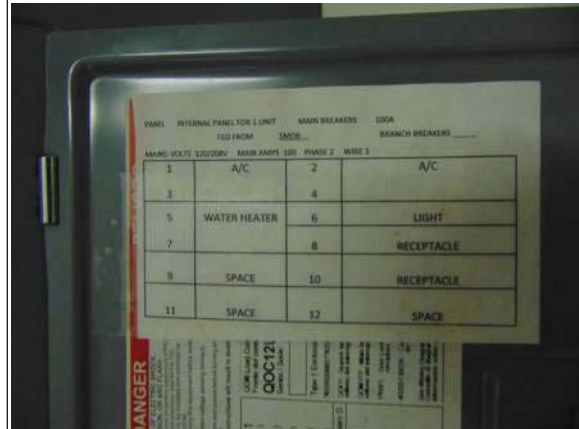


Photo #62: Electrical panel labeling



Photo #63: Typical electrical panel - closed



Photo #64: Typical overhead fixture - Bedroom



Photo #65: Typical overhead fixture - bathroom



Photo #66: Typical exterior fixture

PHOTOGRAPHIC RECORD



Photo #67: Typical electrical distribution: 1 panel per 6 CHU's



Photo #68: Typical grounding arrangement: 6 per CHU



Photo #69: Typical Exhaust Fan (See Photo 66 for hood)



Photo #70: Typical Dehumidifier



Photo #71: Typical dehumidifier drain-line floor penetration



Photo #72: Typical Interior fire detection/alert system

PHOTOGRAPHIC RECORD

		
<p>Photo #73: Typical interior fire protection conduit routing</p>		<p>Photo #74: Typical exterior fire notification and alert system</p>
		
<p>Photo #75: Typical Phone Jack connection next to door</p>		<p>Photo #76: Typical Coaxial connection under desk</p>
		
<p>Photo #77: Typical utility runs between CHU's</p>		<p>Photo #78:</p>

APPENDIX C: BASIS OF ESTIMATE



**US Army Corps of Engineers
Savannah District**

Containerized Housing Units (CHUs)

Facility Condition Assessment

Office of Military Commissions (OMC) Naval Station

Guantanamo Bay, Cuba

13 April 2020

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1.0 Basis of Estimate

1.1 Basis of Estimate

This estimate is based on quantities developed from the estimator's understanding of the proposed scope of work. The documents used to develop the scope of work include: SOW, Site Visit Trip report, and the Hanna-Bay West Environmental Assessment of CHUs document dated January 2020. The values presented in the attached construction cost estimate represent the opinions and evaluations of the work as defined by the estimators' understanding of the proposed work. Comparisons to work previously completed at other military installations were also used as a basis for productivity and appropriate markups.

The Cost Estimate presented herein was created by Black & Veatch Special Projects Corp using tools and databases which include but are not limited to the following:

1.1.1 *Estimating Software*

All the estimating software used came through the Tri-Service Automated Cost Engineering System. The Tri-Service Automated Cost Engineering System (TRACES) program consists of a suite of software applications designed to support the cost engineers throughout the Corps of Engineers, the Air Force and the Navy.

1.1.2 *MII 4.4*

MII 4.4 Micro-Computer Aided Cost Estimating System (MCACES), Second Generation (MII) for the Tri-Service Automated Cost Engineering System (TRACES) by Project Time & Cost, Inc.; Copyright 2002. MII is used by the Corps of Engineers and A-E firms for the preparation of detailed construction cost estimates. The software is used for the preparation of programming estimates, current working estimates, bid opening estimates and construction modification estimates in support of the MILCON, Civil Works, and Hazardous, Toxic Waste programs. MII version 4.4 is the most current version of MCACES products and replaces the older MCACES for Windows.

1.1.3 *Estimating Databases*

The software described above utilizes data supplied by R.S. Means, other USACE districts, past vendors and contractors and is assembled in database format for the software. The specific databases supplied with the software and used in this estimate include:

- English Cost Book 2016 – A construction cost database for MII version 4.4

- National Labor 2016.mll – A labor rate database for MII version 4.4
- 2016 EP Region 11 Equipment Library for MII version 4.4

2.0 Markups and Taxes

2.1 Sales Taxes

Material taxes have not been included.

2.2 Markups

2.2.1 *Direct Cost*

Direct cost markups include productivity adjustments, overtime, material factor, and design. A description of each of these mark-up follows:

2.2.1.1 *Productivity*

The productivity was adjusted to 75% for work being performed. The reduction in productivity is attributed to the facility location the loss of productivity due to weather and working conditions.

2.2.1.2 *Overtime*

The work week is currently assumed to be five eight-hour days and one shift. There is 0.0% overtime included in the estimate.

2.2.1.3 *Material Factor*

This factor (26%) is based on historical costs for transporting materials from the contiguous 48 states.

2.2.1.4 *Labor Rates*

Labor Rates have been overridden, therefore the Duval County, Florida rates are being utilized for construction labor and are based on Davis-Bacon Wage Determination FL20200202 02/21/2020..

2.2.2 *Contractor Markup*

It is assumed that a Prime Contractor will be responsible for Overall Construction Management and Construction. The contractor mark-ups include:

2.2.2.1 Job Office Overhead

Job Office overhead (JOOH); this is an opinion value and estimated as a percentage of the total cost for the Prime Contractor. An 20% markup was applied to all Prime Contractor construction activities as a Running %.

2.2.2.2 Home Office Overhead

Home office overhead (HOOH); this value is an opinion and estimated as a percentage of the total cost and is assumed and intended to include the following: project management staff hours, document control, duplication, postage, review costs, scheduling, coordination, contract administration, expediting, accounting, cost of money, payables, receivables, and billing. A 5% markup was applied to all Prime Contractor construction activities.

2.2.2.3 Profit

Profit - This value is an opinion based on assumptions and risk factors of both the known and unknown aspects of the project. A 10% markup was applied to all Prime Contractor construction activities.

2.2.2.4 Bond

Contractors are required to furnish a performance bond for the duration of the construction schedule to ensure the owner that the work will be performed in accordance with the contract documents. Bond was applied only to the Prime Contractor markup as a 2.0% markup.

2.2.2.5 Design Contingency

Design Contingency is an opinion-based assumption for unknowns and was applied as a 10% markup.

2.2.2.6 Escalation

Escalation to mid-point of construction was NOT applied. Therefore, all costs are January 2020 \$'s.

2.2.3 Owner Markup

Owner markups were NOT applied to the estimate for Contingency and SIOH.

2.3 Other Factors Affecting Estimated Cost

2.3.1 Contractor Escorts

Contractor Escorts costs have NOT been included.

2.3.2 Secure Location

The fact that the work is in a secure location increases the required amount of overhead activities and decreases productivity. To account for this, a productivity rate of 75% was applied to all work.

2.3.3 Project Size

The amount of work required for this project is relatively small for the amount of administrative and management effort required. Because of the size and remote location of the project and the administrative effort related to working in a secure area on OMC Naval Station, Guantanamo Bay, Cuba, the overhead costs make up a greater portion of the costs than on a typical contiguous 48 states projects direct costs.

2.3.4 Estimate Assumptions

- All Labor costs are based upon the Duval County, Florida rates and are being utilized for construction labor and are based on Davis-Bacon Wage Determination FL20200202 02/21/2020..
- All Material costs are based upon the English Cost Book 2016 – A construction cost database for MII version 4.4. These costs have then been escalated to January 2020 by a factor of 7.94%.
- Third Country National (TCN) workforce has NOT been included.
- All Equipment costs are based upon the 2016 EP Region 11 Equipment Library for MII version 4.4. These costs have then been escalated to January 2020 by a factor of 7.94%.
- Transportation of materials to GTMO has been included by applying a material factor of 26%. This factor is based upon historical factors of transporting materials from the contiguous 48 states to Hawaii and Alaska.
- Crew berthing costs have NOT been included.
- Incentive pay and/or Overtime has NOT been included.

**APPENDIX D: ABBREVIATED ACCESSIBILITY
CHECKLIST**

FACILITY CONDITION

ASSESSMENT

Property Name: CHUs Nos. 1-50

Camp Justice, Naval Station, Guantanamo Bay, Cuba

Date: 12/13/19 thru 12/17/19

Abbreviated Accessibility Checklist					
	Building History	Yes	No	N/A	Comments
1.	Has the management previously completed an ADA review?		✓		
2.	Have any ADA improvements been made to the property?		✓		
3.	Does a Barrier Removal Plan exist for the property?		✓		
4.	Has the Barrier Removal Plan been reviewed/approved by an arms-length third party such as an engineering firm, architectural firm, building department, other agencies, etc.?		✓		
5.	Has building ownership or management received any ADA related complaints that have not been resolved?		✓		No ADA related complaints were brought to the Assessment Team's attention during the site visit.
6.	Is any litigation pending related to ADA issues?		✓		No litigation issues were brought to the Assessment Team's attention during the site visit.
	Parking	Yes	No	N/A	Comments
1.	Are there sufficient parking spaces with respect to the total number of reported spaces?		✓		No dedicated parking was observed.
2.	Are there sufficient van-accessible parking spaces available (96" wide/ 96" aisle for van)?		✓		
3.	Are accessible spaces marked with the International Symbol of Accessibility? Are there signs reading "Van Accessible" at van spaces?		✓		
4.	Is there at least one accessible route provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones, if provided, and public streets and sidewalks?		✓		



FACILITY CONDITION

ASSESSMENT

5.	Do curbs on the accessible route have depressed, ramped curb cuts at drives, paths, and drop-offs?		✓		
6.	Does signage exist directing you to accessible parking and an accessible building entrance?		✓		
Ramps		Yes	No	N/A	Comments
1.	If there is a ramp from parking to an accessible building entrance, does it meet slope requirements? (1:12)		✓		No ramps were observed.
2.	Are ramps longer than 6 ft complete with railings on both sides?			✓	
3.	Is the width between railings at least 36 inches?			✓	
4.	Is there a level landing for every 30 ft horizontal length of ramp, at the top and at the bottom of ramps and switchbacks?			✓	
Entrances/Exits		Yes	No	N/A	Comments
1.	Is the main accessible entrance doorway at least 32 inches wide?		✓		CHUs doorways are not accessible.
2.	If the main entrance is inaccessible, are there alternate accessible entrances?		✓		
3.	Can the alternate accessible entrance be used independently?		✓		
4.	Is the door hardware easy to operate (lever/push type hardware, no twisting required, and not higher than 48 inches above the floor)?		✓		Door hardware is not ADA compliant.
5.	Are main entry doors other than revolving door available?			✓	
6.	If there are two main doors in series, is the minimum space between the doors 48 inches plus the width of any door swinging into the space?			✓	
Paths of Travel		Yes	No	N/A	Comments
1.	Is the main path of travel free of obstruction and wide enough for a wheelchair (at least 36 inches wide)?		✓		Path of travel is impacted by stairs, no sidewalks or ramps.
2.	Does a visual scan of the main path reveal any obstacles (phones, fountains, etc.) that protrude more than 4 inches into walkways or corridors?			✓	
3.	Are floor surfaces firm, stable, and slip resistant (carpets wheelchair friendly)?		✓		
4.	Is at least one wheelchair-accessible public telephone available?		✓		



FACILITY CONDITION

ASSESSMENT

5.	Are wheelchair-accessible facilities (toilet rooms, exits, etc.) identified with signage?		✓		
6.	Is there a path of travel that does not require the use of stairs?		✓		
7.	If audible fire alarms are present, are visual alarms (strobe light alarms) also installed in all common areas?		✓		
	Elevators	Yes	No	N/A	Comments
1.	Do the call buttons have visual signals to indicate when a call is registered and answered?			✓	No elevators present on site.
2.	Is the "UP" button above the "DOWN" button?			✓	
3.	Are there visual and audible signals inside cars indicating floor change?			✓	
4.	Are there standard raised and Braille marking on both jambs of each host way entrance?			✓	
5.	Do elevator doors have a reopening device that will stop and reopen a car door if an object or a person obstructs the door?			✓	
6.	Do elevator lobbies have visual and audible indicators of car arrival?			✓	
7.	Does the elevator interior provide sufficient wheelchair turning area (51" x 68")?			✓	
8.	Are elevator controls low enough to be reached from a wheelchair (48 inches front approach/54 inches side approach)?			✓	
9.	Are elevator control buttons designated by Braille and by raised standard alphabet characters (mounted to the left of the button)?			✓	
10.	If a two-way emergency communication system is provided within the elevator cab, is it usable without voice communication?			✓	
	Restrooms	Yes	No	N/A	Comments
1.	Are common area public restrooms located on an accessible route?		✓		No common area public restrooms. All restrooms are for individual CHU guests
2.	Are pull handles push/pull or lever type?		✓		
3.	Are there audible and visual fire alarm devices in the toilet rooms?		✓		
4.	Are corridor access doors wheelchair-accessible (at least 32 inches wide)?		✓		



FACILITY CONDITION

ASSESSMENT

5.	Are public restrooms large enough to accommodate a wheelchair turnaround (60" turning diameter)?		✓		
6.	In unisex toilet rooms, are there safety alarms with pull cords?			✓	
7.	Are stall doors wheelchair accessible (at least 32" wide)?			✓	
8.	Are grab bars provided in toilet stalls?		✓		
9.	Are sinks provided with clearance for a wheelchair to roll under (29" clearance)?		✓		
10.	Are sink handles operable with one hand without grasping, pinching or twisting?		✓		
11.	Are exposed pipes under sink sufficiently insulated against contact?		✓		
12.	Are soap dispensers, towel, etc. reachable (48" from floor for frontal approach, 54" for side approach)?		✓		
13.	Is the base of the mirror no more than 40" from the floor?		✓		



**APPENDIX E: ACRONYMS AND OUT OF SCOPE
ITEMS**

ASTM E2018-01 ACRONYMS

ADA - *The Americans with Disabilities Act*

ASTM - *American Society for Testing and Materials*

BOMA - *Building Owners & Managers Association*

BUR - *Built-up Roofing*

DWV – *Drainage, Waste, Ventilation*

EIFS - *Exterior Insulation and Finish System*

EMF – *Electro Magnetic Fields*

EMS - *Energy Management System*

EUL - *Expected Useful Life*

FEMA - *Federal Emergency Management Agency*

FFHA - *Federal Fair Housing Act*

FIRMS - *Flood Insurance Rate Maps*

FRT- *Fire Retardant Treated*

FOIA - *U.S. Freedom of Information Act (5 USC 552 et seq.) and similar state statutes.*

FOIL - *Freedom of Information Letter*

FM - *Factory Mutual*

HVAC - *Heating, Ventilating and Air-conditioning*

IAQ - *Indoor Air Quality*

MEP – *Mechanical, Electrical & Plumbing*

NFPA - *National Fire Protection Association*

PCR - *Property Condition Report*

PML - *Probable Maximum Loss*

RTU - *Rooftop Unit*

RUL - *Remaining Useful Life*

STC – *Sound Transmission Class*

UBC – *Uniform Building Code*



FACILITY CONDITION

ASSESSMENT

Ref #	Section 8: ASTM E 2018-01 Out of Scope Items
8.4.1.8	Utilities: Operating conditions of any systems or accessing manholes or utility pits.
8.4.2.2	Structural Frame and Building Envelope: Entering of crawl or confined space areas (however, field observer should observe conditions to the extent easily visible from the point of access to the crawl or confined space areas), determination of previous substructure flooding or water penetration unless easily visible or if such information is provided.
8.4.3.2	Roofs: Walking on pitched roofs, or any roof areas that appear to be unsafe, or roofs with no built-in access, or determining any roofing design criteria.
8.4.4.2	Plumbing: Determining adequate pressure and flow rate, fixture-unit values and counts, or verifying pipe sizes and verifying the point of discharge for underground systems.
8.4.5.2	Heating: Observation of flue connections, interiors of chimneys, flues or boiler stacks, or -owned or maintained equipment.
8.4.6.2	Air-conditioning and Ventilation: Evaluation of process related equipment or condition of owned/maintained equipment.
8.4.7.2	Electrical: Removing of electrical panel covers, except if removed by building staff, EMF issues, electrical testing, or operating of any electrical devices. Process related equipment or owned equipment.
8.4.8.2	Vertical Transportation: Examining of cables, sheaves, controllers, motors, inspection tags, or entering elevator/escalator pits or shafts
8.4.9.1	Life Safety / Fire Protection: Determining NFPA hazard classifications, classifying, or testing fire rating of assemblies.
8.4.10.2	Interior Elements: Operating appliances or fixtures, determining or reporting STC (Sound Transmission Class) ratings, and flammability issues/regulations.

Ref #	Section 11: ASTM E 2018-01 Out of Scope Items
11.1	Activity Exclusions - The activities listed below are generally excluded from or otherwise represent limitations to the scope of a Comprehensive Facility Condition Assessment prepared in accordance with this <i>guide</i> . These should not be construed as all-inclusive or implying that any exclusion not specifically identified is a Comprehensive Facility Condition Assessment requirement under this <i>guide</i> .
11.1.1	Removing or relocating materials, furniture, storage containers, personal effects, debris material or finishes; conducting exploratory probing or testing; <i>dismantling</i> or operating of equipment or appliances; or disturbing personal items or <i>property</i> which obstructs access or visibility.
11.1.2	Preparing <i>engineering</i> calculations (civil, structural, mechanical, electrical, etc.) to determine any <i>system's</i> , <i>component's</i> , or equipment's adequacy or compliance with any specific or commonly accepted design requirements or <i>building codes</i> , or preparing designs or specifications to remedy any <i>physical deficiency</i> .
11.1.3	Taking measurements or quantities to establish or confirm any information or representations provided by the <i>owner</i> or <i>user</i> such as: size and dimensions of the <i>subject property</i> or <i>subject building</i> , any legal encumbrances such as easements, dwelling unit count and mix, building <i>property</i> line setbacks or elevations, number and size of parking spaces, etc.
11.1.4	Reporting on the presence or absence of pests such as wood damaging organisms, rodents, or insects unless evidence of such presence is readily apparent during the course of the <i>field observer's walk-through</i> survey or such information is provided to the <i>consultant</i> by the <i>owner</i> , <i>user</i> , property manager, etc. The <i>consultant</i> is not required to provide a <i>suggested remedy</i> for treatment or remediation, determine the extent of infestation, nor provide <i>opinions of probable costs</i> for treatment or remediation of any deterioration that may have resulted.
11.1.5	Reporting on the condition of subterranean conditions such as underground utilities, separate sewage disposal systems, wells; systems that are either considered process-related or peculiar to a specific tenancy or use; waste water treatment plants; or items or systems that are not permanently installed.



FACILITY CONDITION

ASSESSMENT

Ref #	Section 11: ASTM E 2018-01 Out of Scope Items
11.1.6	Entering or accessing any area of the premises deemed to pose a threat of <i>dangerous or adverse conditions</i> with respect to the <i>field observer</i> or to perform any procedure, which may damage or impair the physical integrity of the <i>property, any system, or component</i> .
11.1.7	Providing an opinion on the condition of any <i>system or component</i> , which is <i>shutdown</i> , or whose operation by the <i>field observer</i> may significantly increase the registered electrical demand-load. However, <i>consultant</i> is to provide an opinion of its physical condition to the extent reasonably possible considering its age, obvious condition, manufacturer, etc.
11.1.8	Evaluating acoustical or insulating characteristics of <i>systems or components</i> .
11.1.9	Providing an opinion on matters regarding security of the <i>subject property</i> and protection of its occupants or users from unauthorized access.
11.1.10	Operating or witnessing the operation of lighting or other <i>systems</i> typically controlled by time clocks or that are normally operated by the building's operation staff or service companies.
11.1.11	Providing an environmental assessment or opinion on the presence of any environmental issues such as asbestos, hazardous wastes, toxic materials, the location and presence of designated wetlands, IAQ, etc.
11.2	Warranty, Guarantee and Code Compliance Exclusions - By conducting a Comprehensive Facility Condition Assessment and preparing a PCR, the <i>consultant</i> is merely providing an opinion and does not warrant or guarantee the present or future condition of the <i>subject property</i> , nor may the Comprehensive Facility Condition Assessment be construed as either a warranty or guarantee of any of the following:
11.2.1	Any <i>system's or component's</i> physical condition or use, nor is a Comprehensive Facility Condition Assessment to be construed as substituting for any <i>system's or equipment's</i> warranty transfer inspection;
11.2.2	Compliance with any federal, state, or local statute, ordinance, rule or regulation including, but not limited to, <i>building codes, safety codes, environmental regulations, health codes or zoning ordinances</i> or compliance with trade/design standards or the standards developed by the insurance industry. However, should there be any conspicuous <i>material</i> present violations <i>observed</i> or reported based upon <i>actual knowledge</i> of the <i>field observer</i> or the <i>PCR reviewer</i> , they should be identified in the PCR;
11.2.3	Compliance of any material, equipment, or <i>system</i> with any certification or actuation rate program, vendor's or manufacturer's warranty provisions, or provisions established by any standards that are related to insurance industry acceptance/approval such as FM, State Board of Fire Underwriters, etc.
11.3	Additional/General Considerations:
11.3.1	Further Inquiry - There may be physical condition issues or certain physical improvements at the <i>subject property</i> that the parties may wish to assess in connection with a <i>commercial real estate transaction</i> that are outside the scope of this <i>guide</i> . Such issues are referred to as non-scope considerations and if included in the PCR, should be identified under Section 10.9.
11.3.2	Non-Scope Considerations - Whether or not a <i>user</i> elects to inquire into non-scope considerations in connection with this <i>guide</i> is a decision to be made by the user. No assessment of such non-scope considerations is required for a Comprehensive Facility Condition Assessment to be conducted in compliance with this <i>guide</i> .



**APPENDIX F: ENVIRONMENTAL ASSESSMENT
RECOMMENDATIONS**

FINAL

**Indoor Air Quality Report of
Containerized Housing Units (CHUs)**

Camp Justice Naval Station Guantanamo Bay,
Guantanamo Bay, Cuba

W912HN19D1002, Delivery Order W912HN19F1033

March 2020
Revision 0

Prepared for:



Department of the Army
Corps of Engineers, Savannah District
100 West Oglethorpe Avenue
Savannah, Georgia 31401

By:
Hana-Bay West 8(a) JV, LLC

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Acronyms and Abbreviations

%	percent
°F	degrees Fahrenheit
ACGIH	American Conference of Governmental Industrial Hygienists
ACM	asbestos-containing material
AIHA	American Industrial Hygiene Association
ASHRAE	American Society of Heating, Refrigeration and Air-Conditioning Engineers
ASME	American Society of Mechanical Engineers
CIH	Certified Industrial Hygienist
CHU	containerized housing unit
CO	carbon monoxide
CO ₂	carbon dioxide
H ₂ S	hydrogen sulfide
Hana-Bay West...	Hana-Bay West 8(a), LLC
HEPA	high efficiency particulate air
Hg	mercury
HVAC	heating ventilation and air-conditioning
IAQ	indoor air quality
LEL	lower explosive limit
m ³	cubic meters
MEG	Military Exposure Guideline
mg/m ³	milligrams per cubic meter
NIOSH	National Institute for Occupation Safety and Health
NMCPHC	Navy and Marine Corps Public Health Center
O ₂	oxygen
OSHA	Occupational Safety and Health Administration
p/cc	particles per cubic centimeter
PEL	permissible exposure level
PID	photoionization detector
ppm	parts per million
REL	recommended exposure limit
TLV	threshold limit value
USACE	United States Army Corps of Engineers
VOC	volatile organic compound

9.0 RECOMMENDATIONS

Based on the inspections, evaluations, and sampling results, the following recommendations are provided:

Recommendations to reduce fungi levels

- Continue to maintain the temperature inside building to the within 68-76°F during the winter months and 73-79°F during the summer months. It is best to maintain the humidity to within 30-60% relative humidity for comfort. Use either the air conditioner or the dehumidifier to maintain the humidity level within 30-60%.
- Areas that had elevated air fungi levels present should be vacuumed with a HEPA (high efficiency particulate air) vacuum and nonporous surfaces wiped down with a bleach or detergent solution. Should a CHU be occupied by immunocompromised personnel, the solutions used for fungi removal will need to be evaluated on a case by case basis. The HEPA vacuum will capture the dust and dirt that may have fungi attached to it. This will reduce any mold from being redistributed when cleaning. HEPA vacuums must have filters that meet the European Standard EN 1822-1:2009 for High Efficiency Air Filters that block 99.5% of 0.3 micrometer diameter particles, or the American Society of Mechanical Engineers (ASME) Standard AG-1a-2004 that block 99.7% of 0.3 micrometer diameter particles. It is recommended that a HEPA vacuum also be used during routine housekeeping of the CHUs. CHUs recommended for remediation based on air mold samples that exceeded outside levels are: 8A, 13B, 15B, 16A, 18B, 20B, 23B, 24B, 31A, 41B, and 50B.
- Visible mold should be wiped down with a detergent or bleach solution. Based on the tape lift results, the following CHUs had mold present on surfaces and should be remediated: 28A, 30B, 31A, 29B, 26A, 35A, 37A, 33B, 41A, 28A, 15B, 16A, 18A, 25B, 24A, 2B, 5A, 6A, and 13B.
- Scrape out old cracked caulk, especially with the mold growth, and install new silicone style caulk.
- Reseal air gaps around air conditioners with silicone style caulk, where needed.
- Remove floor tiles where mold is present and remove and replace the affected subfloor material down to a clean substrate.
- Signs on the bathroom doors should be changed to read: "Keep bathroom door shut during, and immediately after showering to allow the exhaust fan to remove excess moisture. Leave exhaust fan on at all times."
- Leave the exhaust fans running in the CHUs to reduce the humidity from bathroom.
- The air conditioner units did not appear to have a drain in the units to drain to the exterior. Standing water was visible in many of the units. Install drain hole or lines to the exterior of the air conditioner units to drain the water away.
- Some of the air conditioner coils appeared to be dirty on the outside of the air conditioner units. Recommend cleaning the outside coils of the air conditioners with a 10% bleach solution and 90% water.
- Remove and/or replace rotted wood trim surrounding air conditioners where mold is present.

Recommendations to reduce formaldehyde levels

- Leave the exhaust fans running in the CHUs at all times. As discussed in Section 4, there was a trend of elevated formaldehyde concentrations in CHUs where the fans were not on.

Additional recommendations

- Continue to implement and evaluate the risk management actions developed for the Public Health Report (NMCPHC, 2017).

The health and safety services performed by the industrial hygienists for this project have been conducted in a manner consistent with the degree of care and technical skill appropriately exercised by health and safety professionals. Recommendations contained in this report represent our professional judgment based on the data collected at the time of the investigation. The information presented in this report and the work procedures used have been reviewed and approved by a Board-Certified Industrial Hygienist.

**APPENDIX G: REPLACEMENT VALUE MII COST
ESTIMATE**



Estimated by

Designed by

Prepared by Bryant Carranza

Preparation Date 3/2/2020

Effective Date of Pricing 3/2/2020

Estimated Construction Time Days



Project Cost Summary Report..... 1

A Primary Facilities (WBS)..... 1

A01 Buildings. - Work Breakdown Structure..... 1

A0102 Superstructure 1

A0103 Exterior Closure..... 1

A0104 Roofing..... 1

A0105 Interior Construction 1

A0106 Interior Finishes..... 1

A0108 Plumbing..... 1

A0109 HVAC 2

A0111 Electric Power and Lighting..... 2

A0112 Electrical Systems..... 2

A0113 Equipment..... 2

A0114 Furnishings..... 2

Installation..... 2

Contract Cost Summary Report..... 3

A Primary Facilities (WBS)..... 3

A01 Buildings. - Work Breakdown Structure..... 3

A0102 Superstructure 3

A0103 Exterior Closure..... 3

A0104 Roofing..... 3

A0105 Interior Construction 3

A0106 Interior Finishes	3
A0108 Plumbing	3
A0109 HVAC	3
A0111 Electric Power and Lighting	3
A0112 Electrical Systems	3
A0113 Equipment	3
A0114 Furnishings	3
Installation	3
Project Direct Costs Report	4
A Primary Facilities (WBS)	4
A01 Buildings. - Work Breakdown Structure	4
A0102 Superstructure	4
A010201 Floor Construction	4
A01020101 Structural Frame	4
Support Beams	4
A01020102 Structrual Interior Walls	4
8x4	4
4x4	4
A01020103 Floor Decks and Slabs	4
A0103 Exterior Closure	4
A010301 Exterior Walls	4
A01030101 Exterior Skin	5

A01030108 Exterior Soffits	5
A010302 Exterior Windows	5
A01030201 Windows	5
A010303 Exterior Personnel Doors	5
A01030302 Solid Doors	5
A0104 Roofing	5
A010401 Roofing	5
A01040101 Roof Covering	5
A0105 Interior Construction	6
A010501 Partitions	6
A01050101 Fixed partitions	6
A010502 Interior Personnel Doors	6
A01050201 Standard Interior Doors	6
A010504 Interior Specialties	6
A01050402 Toilet and Bath Accessories	6
A010504 Casework	6
A01050401 Counters	6
A01050402 Cabinets	6
A0106 Interior Finishes	7
A010601 Wall Finishes	7
A01060105 Painting to Wall	7
A010602 Flooring and Floor Finishes	7

A01060204 Resilient Flooring.....7

A0108 Plumbing.....7

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A010802 Domestic Water Supply.....7

A01080201 Pipes and Fittings.....7

A010803 Sanitary Waste and Vent Systems.....8

A01080301 Waste Pipe and Fittings.....8

A01080302 Vent Pipe and Fittings.....8

A010805 Plumbing Equipment.....8

A01080501 Domestic Water Equipment.....8

A01080502 Sanitary and Vent Equipment.....8

A0109 HVAC8

A0111 Electric Power and Lighting.....9

A011101 Service and Distribution.....9

A011102 Lighting and Branch Wiring9

A01110202 Lighting Equipment.....9

A0112 Electrical Systems.....9

A011201 Communication, Security & Alarm Systems9

A01120101 Fire Alarm Systems9

A0113 Equipment.....9

A0114 Furnishings	9
A011401 Furnishings	10
Installation	10

Description	Quantity	UOM	ContractCost	Contingency	SIOH	ProjectCost
Project Cost Summary Report			90,590	0	0	90,590
A Primary Facilities (WBS)	1.00	EA	90,590	0	0	90,590
A01 Buildings. - Work Breakdown Structure	286.00	SF	90,590	0	0	90,590
A0102 Superstructure	1.00	EA	24,208	0	0	24,208
A010201 Floor Construction	1.00	EA	24,208	0	0	24,208
A01020101 Structural Frame	1.00	EA	6,530	0	0	6,530
Support Beams	1.00	EA	6,530	0	0	6,530
A01020102 Structrual Interior Walls	1.00	EA	10,235	0	0	10,235
8x4	1.00	EA	8,350	0	0	8,350
4x4	1.00	EA	1,885	0	0	1,885
A01020103 Floor Decks and Slabs	1.00	EA	7,443	0	0	7,443
A0103 Exterior Closure	1.00	EA	19,069	0	0	19,069
A010301 Exterior Walls	1.00	EA	11,446	0	0	11,446
A01030101 Exterior Skin	1.00	EA	10,174	0	0	10,174
A01030108 Exterior Soffits	1.00	EA	1,271	0	0	1,271
A010302 Exterior Windows	1.00	EA	815	0	0	815
A01030201 Windows	1.00	EA	815	0	0	815
A010303 Exterior Personnel Doors	1.00	EA	6,808	0	0	6,808
A01030302 Solid Doors	1.00	EA	6,808	0	0	6,808
A0104 Roofing	1.00	EA	2,636	0	0	2,636
A010401 Roofing	1.00	EA	2,636	0	0	2,636
A01040101 Roof Covering	1.00	EA	2,636	0	0	2,636
A0105 Interior Construction	1.00	EA	9,214	0	0	9,214
A010501 Partitions	1.00	EA	1,205	0	0	1,205
A01050101 Fixed partitions	1.00	EA	1,205	0	0	1,205
A010502 Interior Personnel Doors	1.00	EA	6,393	0	0	6,393
A01050201 Standard Interior Doors	1.00	EA	6,393	0	0	6,393
A010504 Interior Specialties	1.00	EA	434	0	0	434
A01050402 Toilet and Bath Accessories	1.00	EA	434	0	0	434
A010504 Casework	1.00	EA	1,183	0	0	1,183
A01050401 Counters	1.00	EA	101	0	0	101
A01050402 Cabinets	1.00	EA	1,082	0	0	1,082
A0106 Interior Finishes	1.00	EA	853	0	0	853
A010601 Wall Finishes	1.00	EA	136	0	0	136
A01060105 Painting to Wall	1.00	EA	136	0	0	136
A010602 Flooring and Floor Finishes	1.00	EA	716	0	0	716
A01060204 Resilient Flooring	1.00	EA	716	0	0	716
A0108 Plumbing	1.00	EA	5,460	0	0	5,460
A010801 Plumbing Fixtures	1.00	EA	2,272	0	0	2,272
A01080104 Sinks	1.00	EA	1,422	0	0	1,422
A01080105 Showers/Tubs	1.00	EA	850	0	0	850
A010802 Domestic Water Supply	1.00	EA	841	0	0	841

Description	Quantity	UOM	ContractCost	Contingency	SIOH	ProjectCost
A01080201 Pipes and Fittings	1.00	EA	841	0	0	841
A010803 Sanitary Waste and Vent Systems	1.00	EA	1,531	0	0	1,531
A01080301 Waste Pipe and Fittings	1.00	EA	1,417	0	0	1,417
A01080302 Vent Pipe and Fittings	1.00	EA	113	0	0	113
A010805 Plumbing Equipment	1.00	EA	816	0	0	816
A01080501 Domestic Water Equipment	1.00	EA	742	0	0	742
A01080502 Sanitary and Vent Equipment	1.00	EA	74	0	0	74
A0109 HVAC	1.00	EA	2,989	0	0	2,989
A0111 Electric Power and Lighting	1.00	EA	1,846	0	0	1,846
A011101 Service and Distribution	1.00	EA	922	0	0	922
A011102 Lighting and Branch Wiring	1.00	EA	925	0	0	925
A01110202 Lighting Equipment	1.00	EA	925	0	0	925
A0112 Electrical Systems	1.00	EA	2,605	0	0	2,605
A011201 Communication, Security & Alarm Systems	1.00	EA	2,605	0	0	2,605
A01120101 Fire Alarm Systems	1.00	EA	2,605	0	0	2,605
A0113 Equipment	1.00	EA	2,721	0	0	2,721
A0114 Furnishings	1.00	EA	3,730	0	0	3,730
A011401 Furnishings	1.00	EA	3,730	0	0	3,730
Installation	1.00	EA	15,260	0	0	15,260

Description	Quantity	UOM	Contractor	DirectCost	CostToPrime	PrimeCMU	ContractCost
Contract Cost Summary Report				64,079	64,079	26,511	90,590
				<i>64,078.84</i>	<i>64,078.84</i>		<i>90,589.54</i>
A Primary Facilities (WBS)	1.00	EA	Prime	64,079	64,079	26,511	90,590
				<i>224.05</i>	<i>224.05</i>		<i>316.75</i>
A01 Buildings. - Work Breakdown Structure	286.00	SF	Prime	64,079	64,079	26,511	90,590
				<i>17,123.61</i>	<i>17,123.61</i>		<i>24,208.00</i>
A0102 Superstructure	1.00	EA	Prime	17,124	17,124	7,084	24,208
				<i>13,488.55</i>	<i>13,488.55</i>		<i>19,069.04</i>
A0103 Exterior Closure	1.00	EA	Prime	13,489	13,489	5,580	19,069
				<i>1,864.49</i>	<i>1,864.49</i>		<i>2,635.87</i>
A0104 Roofing	1.00	EA	Prime	1,864	1,864	771	2,636
				<i>6,517.82</i>	<i>6,517.82</i>		<i>9,214.37</i>
A0105 Interior Construction	1.00	EA	Prime	6,518	6,518	2,697	9,214
				<i>603.09</i>	<i>603.09</i>		<i>852.60</i>
A0106 Interior Finishes	1.00	EA	Prime	603	603	250	853
				<i>3,862.24</i>	<i>3,862.24</i>		<i>5,460.12</i>
A0108 Plumbing	1.00	EA	Prime	3,862	3,862	1,598	5,460
				<i>2,114.12</i>	<i>2,114.12</i>		<i>2,988.77</i>
A0109 HVAC	1.00	EA	Prime	2,114	2,114	875	2,989
				<i>1,305.91</i>	<i>1,305.91</i>		<i>1,846.20</i>
A0111 Electric Power and Lighting	1.00	EA	Prime	1,306	1,306	540	1,846
				<i>1,842.41</i>	<i>1,842.41</i>		<i>2,604.64</i>
A0112 Electrical Systems	1.00	EA	Prime	1,842	1,842	762	2,605
				<i>1,924.44</i>	<i>1,924.44</i>		<i>2,720.62</i>
A0113 Equipment	1.00	EA	Prime	1,924	1,924	796	2,721
				<i>2,638.15</i>	<i>2,638.15</i>		<i>3,729.61</i>
A0114 Furnishings	1.00	EA	Prime	2,638	2,638	1,091	3,730
				<i>10,794.00</i>	<i>10,794.00</i>		<i>15,259.69</i>
Installation	1.00	EA	Prime	10,794	10,794	4,466	15,260

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
Project Direct Costs Report			14,385	375	49,319	0	64,079
A Primary Facilities (WBS)	1.00	EA	14,385	375	49,319	0	64,079
A01 Buildings. - Work Breakdown Structure	286.00	SF	14,385	375	49,319	0	64,079
A0102 Superstructure	1.00	EA	4,872	375	11,877	0	17,124
A010201 Floor Construction	1.00	EA	4,872	375	11,877	0	17,124
A01020101 Structural Frame	1.00	EA	237	88	4,294	0	4,619
Support Beams	1.00	EA	237	88	4,294	0	4,619
RSM 051223751520 Structural steel beam or girder, 100-ton project, 1 to 2 story building, W12x35, A992 steel, shop fabricated, incl shop primer, bolted connections	78.00	LF	237	88	4,294	0	4,619
A01020102 Structrual Interior Walls	1.00	EA	804	47	6,388	0	7,240
8x4	1.00	EA	634	37	5,235	0	5,906
RSM 051223600600 HSS 8x4x1/4	2,853.00	LB	634	37	5,235	0	5,906
4x4	1.00	EA	170	10	1,153	0	1,334
RSM 051223600200 HSS 4x4x1/4	610.50	LB	170	10	1,153	0	1,334
A01020103 Floor Decks and Slabs	1.00	EA	3,831	240	1,194	0	5,265
RSM 051223400650 Channel framing, structural steel, less than 8", field fabricated, incl cutting & welding (Note: 12' @ 16" OC = 19 members *12' = 228 * 5 lbs/LF)	1,140.00	LB	3,699	240	984	0	4,923
RSM 061623100015 Subfloors, plywood, CDX, 1/2" thick, pneumatic nailed	286.00	SF	132	0	210	0	342
A0103 Exterior Closure	1.00	EA	3,431	0	10,057	0	13,489
A010301 Exterior Walls	1.00	EA	2,829	0	5,267	0	8,096
			2,452.11	0.00	4,744.61	0.00	7,196.72

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
A01030101 Exterior Skin	1.00	EA	2,452	0	4,745	0	7,197
RSM 074213301300 Steel siding, factory sandwich panel, 1" insulation, galvanized, colored 1 side, 26 gauge, incl. fasteners (Note: 666 SF / CHU)	666.00	SF	2,452	0	4,745	0	7,197
			376.95	0.00	522.43	0.00	899.38
A01030108 Exterior Soffits	1.00	EA	377	0	522	0	899
RSM 066510100220 PVC trim, exterior, fascia, 1" x 6"	220.00	LF	377	0	522	0	899
			1.71	0.00	2.37	0.00	4.09
A010302 Exterior Windows	1.00	EA	95	0	481	0	577
			95.19	0.00	481.41	0.00	576.60
A01030201 Windows	1.00	EA	95	0	481	0	577
RSM 085313300102 Windows, vinyl double hung, grids, low E, J fin, exterior jambs, 21" x 37", including grill, J finish, low E, exterior jambs	2.00	EA	95	0	481	0	577
			47.59	0.00	240.71	0.00	288.30
A010303 Exterior Personnel Doors	1.00	EA	507	0	4,309	0	4,816
			506.89	0.00	4,308.96	0.00	4,815.85
A01030302 Solid Doors	1.00	EA	507	0	4,309	0	4,816
RSM 081313131760 Doors, commercial, steel, insulated, full panel, 18 ga., 3'-0" x 7'-0" x 1-3/4" thick	2.00	EA	114	0	1,058	0	1,172
			57.11	0.00	528.91	0.00	586.02
RSM 081213132800 Frames, steel, knock down, hollow metal, single, 14 ga., up to 3-7/8" deep, 3'-0" x 7'-0"	2.00	EA	107	0	391	0	498
			53.54	0.00	195.37	0.00	248.92
RSM 087120152250 Door hardware	2.00	DR	286	0	2,860	0	3,146
			142.78	0.00	1,430.21	0.00	1,572.99
A0104 Roofing	1.00	EA	534	0	1,331	0	1,864
			533.96	0.00	1,330.53	0.00	1,864.49
A010401 Roofing	1.00	EA	534	0	1,331	0	1,864
			533.96	0.00	1,330.53	0.00	1,864.49
A01040101 Roof Covering	1.00	EA	534	0	1,331	0	1,864
			533.96	0.00	1,330.53	0.00	1,864.49
RSM 074113200510 Steel roofing panels, corrugated or ribbed, painted finish on steel frame, 18 gauge, incl. fasteners	286.00	SF	471	0	1,158	0	1,628
			1.65	0.00	4.05	0.00	5.69
RSM 072216100120 Roof deck insulation, fiberboard high density, 1" thick, R2.5, fastening excluded	286.00	SF	63	0	173	0	236
			0.22	0.00	0.60	0.00	0.83

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
A0105 Interior Construction	1.00	EA	1,280	0	5,237	0	6,518
			1,280.44	0.00	5,237.38	0.00	6,517.82
A010501 Partitions	1.00	EA	544	0	308	0	852
			544.26	0.00	307.76	0.00	852.02
A01050101 Fixed partitions	1.00	EA	544	0	308	0	852
			544.26	0.00	307.76	0.00	852.02
RSM 092116335200 Partition wall, interior, water resistant, taped both sides, installed on & incl. 25 ga, NLB metal studs, 3-5/8" wide, 16" O.C., 8' to 12' high, 5/8" gypsum drywall	216.00	SF	544	0	308	0	852
			2.52	0.00	1.42	0.00	3.94
A010502 Interior Personnel Doors	1.00	EA	493	0	4,028	0	4,522
			493.45	0.00	4,028.32	0.00	4,521.77
A01050201 Standard Interior Doors	1.00	EA	493	0	4,028	0	4,522
			493.45	0.00	4,028.32	0.00	4,521.77
RSM 081213132800 Frames, steel, knock down, hollow metal, single, 14 ga., up to 3-7/8" deep, 3'-0" x 7'-0"	2.00	EA	107	0	391	0	498
			53.54	0.00	195.37	0.00	248.92
RSM 087120152250 Door hardware	2.00	DR	286	0	2,860	0	3,146
			142.78	0.00	1,430.21	0.00	1,572.99
RSM 081313130100 Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	2.00	EA	101	0	777	0	878
			50.39	0.00	388.58	0.00	438.98
A010504 Interior Specialties	1.00	EA	86	0	221	0	307
			85.67	0.00	221.28	0.00	306.95
A01050402 Toilet and Bath Accessories	1.00	EA	86	0	221	0	307
			85.67	0.00	221.28	0.00	306.95
RSM 102813133000 Toilet accessories, mirror, 18" x 24", with stainless steel 3/4" square frame	2.00	EA	43	0	107	0	150
			21.42	0.00	53.43	0.00	74.85
RSM 102813137000 Toilet accessories, towel holder, hotel type, 2 guest size	2.00	EA	43	0	114	0	157
			21.42	0.00	57.21	0.00	78.63
A010504 Casework	1.00	EA	157	0	680	0	837
			157.06	0.00	680.02	0.00	837.09
A01050401 Counters	1.00	EA	71	0	0	0	71
			71.39	0.00	0.00	0.00	71.39
RSM 123623303900 Countertops, plastic laminate, cutouts for sinks, lavatories	2.00	EA	71	0	0	0	71
			35.70	0.00	0.00	0.00	35.70
A01050402 Cabinets	1.00	EA	86	0	680	0	766
			85.67	0.00	680.02	0.00	765.69
RSM 123223308000 Wood casework vanities, base, 2 door, 30" h x 21" d x 24" w	2.00	EA	86	0	680	0	766
			42.84	0.00	340.01	0.00	382.85

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
A0106 Interior Finishes	1.00	EA	203.09 203	0.00 0	400.00 400	0.00 0	603.09 603
A010601 Wall Finishes	1.00	EA	63.73 64	0.00 0	32.64 33	0.00 0	96.37 96
A01060105 Painting to Wall	1.00	EA	63.73 64	0.00 0	32.64 33	0.00 0	96.37 96
RSM 099123720840 Paints & coatings, walls & ceilings, interior, concrete, drywall or plaster, latex paint, 2 coats, smooth finish, roller	216.00	SF	0.30 64	0.00 0	0.15 33	0.00 0	0.45 96
A010602 Flooring and Floor Finishes	1.00	EA	139.36 139	0.00 0	367.36 367	0.00 0	506.72 507
A01060204 Resilient Flooring	1.00	EA	139.36 139	0.00 0	367.36 367	0.00 0	506.72 507
RSM 096519197000 Flooring, vinyl composition tile, 12" x 12" x 1/16"	286.00	SF	0.49 139	0.00 0	1.28 367	0.00 0	1.77 507
A0108 Plumbing	1.00	EA	1,505.52 1,506	0.00 0	2,356.72 2,357	0.00 0	3,862.24 3,862
A010801 Plumbing Fixtures	1.00	EA	550.65 551	0.00 0	1,056.73 1,057	0.00 0	1,607.38 1,607
A01080104 Sinks	1.00	EA	364.89 365	0.00 0	641.16 641	0.00 0	1,006.05 1,006
RSM 224116162000 Sink, kitchen, counter top style, porcelain enamel on cast iron, single bowl, 24" x 21", includes faucet and drain	2.00	EA	182.44 365	0.00 0	320.58 641	0.00 0	503.03 1,006
A01080105 Showers/Tubs	1.00	EA	185.76 186	0.00 0	415.57 416	0.00 0	601.33 601
RSM 224123203100 Shower, stall, fiberglass, one piece with three walls, 36" x 36" square, includes drain only, excludes valve control and door/curtain	1.00	EA	185.76 186	0.00 0	415.57 416	0.00 0	601.33 601
A010802 Domestic Water Supply	1.00	EA	397.48 397	0.00 0	197.38 197	0.00 0	594.86 595
A01080201 Pipes and Fittings	1.00	EA	397.48 397	0.00 0	197.38 197	0.00 0	594.86 595
RSM 221113741910 Pipe, plastic, PVC, 2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	10.00	LF	17.32 173	0.00 0	8.91 89	0.00 0	26.22 262
RSM 221113741900 Pipe, plastic, PVC, 1-1/2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	3.00	LF	16.41 49	0.00 0	7.56 23	0.00 0	23.97 72

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
RSM 221113741860 Pipe, plastic, PVC, 1/2" diameter, schedule 40, includes couplings 10' OC, and hangers 3 per 10'	16.00	LF	10.94 175	0.00 0	5.35 86	0.00 0	16.30 261
A010803 Sanitary Waste and Vent Systems	1.00	EA	533	0	550	0	1,083
A01080301 Waste Pipe and Fittings	1.00	EA	481	0	522	0	1,003
RSM 221316203030 Pipe, cast iron soil, single hub, service weight, 4" diameter, push-on gasket joints 10' OC, includes clevis hanger assemblies 5' O.C.	13.00	LF	17.92 233	0.00 0	23.21 302	0.00 0	41.13 535
RSM 221316203010 Pipe, cast iron soil, single hub, service weight, 2" diameter, push-on gasket joints 10' OC, includes clevis hanger assemblies 5' O.C.	16.00	LF	15.48 248	0.00 0	13.76 220	0.00 0	29.24 468
A01080302 Vent Pipe and Fittings	1.00	EA	52	0	28	0	80
RSM 260590108200 Vent/exhaust fan, residential, hook-up, type NM cable, 20'	1.00	EA	16.62 17	0.00 0	6.85 7	0.00 0	23.47 23
RSM 260590108260 Bathroom vent fan, residential, hook-up, (use w/above hook-up), economy model, 50 CFM	1.00	EA	35.45 35	0.00 0	21.21 21	0.00 0	56.66 57
A010805 Plumbing Equipment	1.00	EA	25	0	553	0	577
A01080501 Domestic Water Equipment	1.00	EA	0	0	525	0	525
USR BAC-0001 Titan N85 Tankless Water Heater (Note: https://tankthetank.com/products/titan-n-85-condo-and-apartment-tankless-water-heater-8-5kw)	2.00	EA	0.00 0	0.00 0	262.29 525	0.00 0	262.29 525
A01080502 Sanitary and Vent Equipment	1.00	EA	25	0	28	0	53
RSM 224113441030 Toilet seat, solid plastic, white, industrial, open front, regular bowl, excludes cover	1.00	EA	24.62 25	0.00 0	28.06 28	0.00 0	52.68 53
A0109 HVAC	1.00	EA	409	0	1,705	0	2,114
RSM 238119104500 Window unit air conditioner, portable, grounded receptacle required, 15 amp 125 V, 10,000 BTUH	2.00	EA	71.39 143	0.00 0	636.85 1,274	0.00 0	708.24 1,416
RSM 113015432450 Dehumidifier, residential appliances, portable, automatic, 15 pint, economy	2.00	EA	132.94 266	0.00 0	215.88 432	0.00 0	348.82 698
			786.18	0.00	519.73	0.00	1,305.91

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
A0111 Electric Power and Lighting	1.00	EA	786	0	520	0	1,306
			418.71	0.00	233.15	0.00	651.86
A011101 Service and Distribution	1.00	EA	419	0	233	0	652
			46.52	0.00	25.91	0.00	72.43
RSM 260590103110 Combination devices, residential, S.P. switch/receptacle, ivory, type NM cable, 20', 15 amp, incl box & cover plate	9.00	EA	419	0	233	0	652
			367.47	0.00	286.58	0.00	654.05
A011102 Lighting and Branch Wiring	1.00	EA	367	0	287	0	654
			367.47	0.00	286.58	0.00	654.05
A01110202 Lighting Equipment	1.00	EA	367	0	287	0	654
			75.97	0.00	69.08	0.00	145.05
RSM 265113501100 Fluorescent fixture, interior, surface mounted, acrylic lens, 2-40 W, 1' W x 4' L, incl lamps, mounting hardware and connections	3.00	EA	228	0	207	0	435
			46.52	0.00	26.45	0.00	72.97
RSM 260590103150 Combination devices, residential, S.P. switch/pilot light, type NM cable, 20', incl box & cover plate	3.00	EA	140	0	79	0	219
			943.26	0.00	899.14	0.00	1,842.41
A0112 Electrical Systems	1.00	EA	943	0	899	0	1,842
			943.26	0.00	899.14	0.00	1,842.41
A011201 Communication, Security & Alarm Systems	1.00	EA	943	0	899	0	1,842
			943.26	0.00	899.14	0.00	1,842.41
A01120101 Fire Alarm Systems	1.00	EA	943	0	899	0	1,842
			67.42	0.00	82.57	0.00	150.00
HNC 283123601100 Fire Alarm & Detection, detectors, photoelectric smoke, single stage, 120V	2.00	EA	135	0	165	0	300
			66.47	0.00	106.86	0.00	173.33
RSM 283149508710 Carbon monoxide detector, hardwired, wall mounted	2.00	EA	133	0	214	0	347
			421.40	0.00	283.88	0.00	705.29
HNC 283123600100 Fire Alarm & Detection, control panel, 1 zone	1.00	EA	421	0	284	0	705
			107.88	0.00	91.75	0.00	199.63
HNC 283123602010 Fire Alarm, pull station, manual, weatherproof	1.00	EA	108	0	92	0	200
			36.55	0.00	36.16	0.00	72.71
RSM 260590107050 Smoke detectors, residential, box, #14/3, type NM cable, 20'	4.00	EA	146	0	145	0	291
			413.28	0.00	1,511.16	0.00	1,924.44
A0113 Equipment	1.00	EA	413	0	1,511	0	1,924
			73.70	0.00	701.61	0.00	775.31
RSM 113013165800 Refrigerator, residential appliances, no frost, 14 to 16 C.F., maximum	2.00	EA	147	0	1,403	0	1,551
			132.94	0.00	53.97	0.00	186.91
RSM 113013151250 Microwave ovens, residential appliances, minimum	2.00	EA	266	0	108	0	374
			6.88	0.00	2,631.27	0.00	2,638.15
A0114 Furnishings	1.00	EA	7	0	2,631	0	2,638

Description	Quantity	UOM	DirectLabor	DirectEQ	DirectMatl	DirectSubBid	DirectCost
A011401 Furnishings	1.00	EA	7	0	2,631	0	2,638
RSM 125643107000 Dormitory furniture, wardrobe	2.00	EA	0	0	1,177	0	1,177
RSM 125413100300 Furniture, hotel, bed frame	2.00	EA	0	0	173	0	173
RSM 125643102000 Dormitory furniture, desk, single pedestal	2.00	EA	0	0	1,144	0	1,144
RSM 122413100910 Shade, mylar, single layer, heat reflective	11.00	SF	7	0	30	0	37
RSM 125213105720 Seating, stack chair, plastic shell, metal legs, minimum	2.00	EA	0	0	108	0	108
Installation	1.00	EA	0	0	10,794	0	10,794
USR BAC-002 CHU Installation	1.00	EA	0	0	10,794	0	10,794