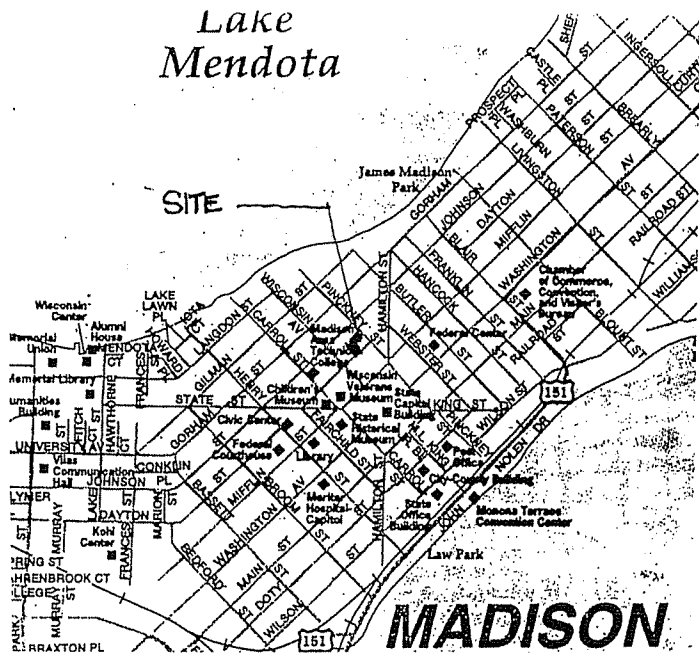
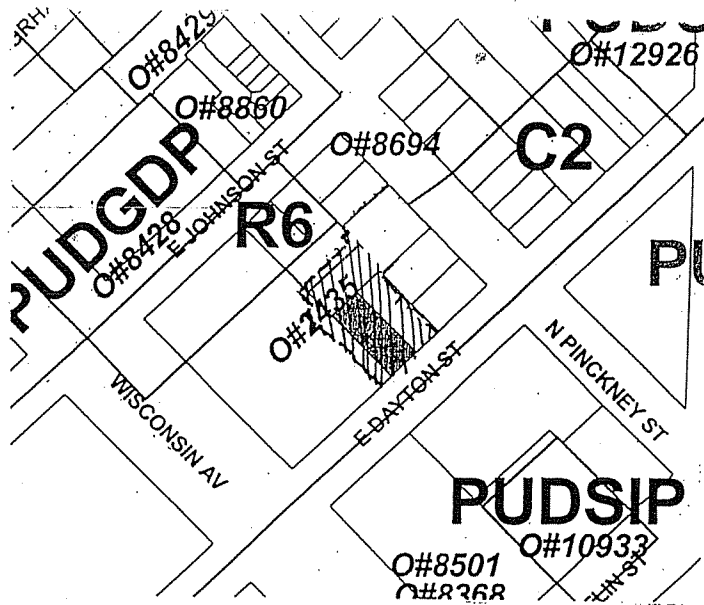


LOCATION MAP



ZONING MAP



PROJECT (PUD- GDP/ SIP)

# 22 DAYTON

Residential  
 22 East Dayton Street (Phase II)  
 Madison, Wisconsin 53703

OWNER

**Scott Lewis**  
 106 East Doty Street  
 Madison, Wisconsin 53703  
 (608) 256-4200

INDEX

- T1.1 TITLE SHEET
- C1.1 EXISTING SURVEY
- C2.0 SITE PLAN
- C2.1B EROSION CONTROL, GRADING, & UTILITY PLAN
- C2.2 SITE DETAILS
- C3.0 LANDSCAPE PLAN
- A1.1 PARKING PLANS
- A1.2 FIRST FLOOR PLAN
- A1.3 SECOND FLOOR THRU FOURTH FLOOR PLAN
- A1.4 FIFTH FLOOR & ROOF PLAN
- A2.1 BUILDING ELEVATIONS

SITE DATA

LOT SIZE	11,950 SQUARE FEET
BUILDING FOOTPRINT	9,842 SQUARE FEET (GARAGE)
APARTMENTS	34,090 SQUARE FEET
STUDIO UNITS	5
ONE BDRM UNITS	28
TWO BDRM	17
TOTAL UNITS	46
TOTAL BDRMS	65
USEABLE OPEN SPACE	1600 SQUARE FEET
DECKS	1650 SQUARE FEET
PARKING	41
BIKE STALLS	60

SUTTON ARCHITECTURE

104 King Street  
 Madison, WI 53703  
 TEL 608-256-1448 FAX 608-256-7744

DRAWING  
 TITLE SHEET  
 LOCATION/ZONING MAP

DATA  
 Project # 200025  
 Date 02.21.07  
 Drawn by jrs

**PARCEL A**  
LOTS 1, 2, 3, AND 4 AND THE SOUTHWEST 1/2 OF LOTS 5 AND 10, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**PARCEL B**  
THE SOUTHWEST 1/2 FEET OF THE NORTHWEST 75.5 FEET OF LOT 9 AND THE NORTHEAST 33 FEET OF THE NORTHWEST 75.5 FEET OF LOT 10, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**PARCEL C**  
PART OF LOTS 8, 9 AND 10, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN BEING PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST NORTHERLY CORNER OF SAID BLOCK 91; THENCE SOUTHWEST ALONG SOUTHWEST LINE OF NORTH PINCKNEY STREET, 82.5 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWEST AT RIGHT ANGLES TO SOUTHWEST LINE OF NORTH PINCKNEY STREET, 78 FEET; THENCE NORTHWEST, 10 FEET; THENCE SOUTHWEST, 41.25 FEET; THENCE NORTHEAST, 28 FEET; THENCE SOUTHWEST, 5 FEET; THENCE NORTHEAST, 79 FEET TO THE SOUTHWEST LINE OF NORTH PINCKNEY STREET; THENCE NORTHWEST, 79 FEET TO THE POINT OF BEGINNING.

**202 N. PINCKNEY**  
THE SOUTHWEST 48 FEET OF THE NORTHEAST 142.5 FEET OF LOT 6 AND THE SOUTHWEST 48 FEET OF LOT 7, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**204 N. PINCKNEY**  
THE NORTHWEST 54 FEET OF THE SOUTHWEST 122 FEET OF THE NORTHEAST 142.5 FEET OF LOT 6 AND THE NORTHWEST 54 FEET OF THE SOUTHWEST 122 FEET OF LOT 7, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**206 N. PINCKNEY**  
PART OF LOTS 5, 6, 7, 8 AND 10, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST EASTERLY CORNER OF SAID BLOCK 91; THENCE SOUTHWEST ALONG THE SOUTHWEST LINE OF PINCKNEY STREET, 122 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWEST, 25.2 FEET; THENCE NORTHWEST, 3 FEET; THENCE SOUTHWEST, 62.5 FEET; THENCE NORTHWEST, 41.25 FEET; THENCE NORTHWEST, 24 FEET; THENCE SOUTHWEST, 5 FEET; THENCE NORTHWEST, 79 FEET TO THE SOUTHWEST LINE OF N. PINCKNEY STREET; THENCE SOUTHWEST, 32.25 FEET TO THE POINT OF BEGINNING.

**210 N. PINCKNEY**  
PART OF LOTS 8, 9 AND 10, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST NORTHERLY CORNER OF SAID BLOCK 91; THENCE SOUTHWEST ALONG THE SOUTHWEST LINE OF N. PINCKNEY STREET, 82.5 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWEST AT RIGHT ANGLES TO THE SOUTHWEST LINE OF N. PINCKNEY STREET, 78 FEET; THENCE NORTHWEST, 10 FEET; THENCE SOUTHWEST, 41.25 FEET; THENCE NORTHEAST, 28 FEET; THENCE SOUTHWEST, 5 FEET; THENCE NORTHEAST, 79 FEET TO THE SOUTHWEST LINE OF N. PINCKNEY STREET; THENCE NORTHWEST, 32.25 FEET TO THE POINT OF BEGINNING.

**218 N. PINCKNEY**  
THE SOUTHWEST 40.5 FEET OF THE NORTHWEST 65.5 FEET OF LOT 6 AND THE NORTHEAST 13 FEET OF THE SOUTHWEST 40.5 FEET OF THE NORTHWEST 65.5 FEET OF LOT 7, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**222 N. PINCKNEY**  
THE NORTHWEST 43.7 FEET OF LOT 8 AND THE NORTHWEST 43.7 FEET OF THE NORTHEAST 13 FEET OF LOT 9, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

**10 E. DAYTON STREET**  
THE NORTHEAST 33 FEET OF THE SOUTHWEST 105.5 FEET OF LOT 5 AND THE SOUTHWEST 10 FEET OF THE SOUTHWEST 105.5 FEET OF LOT 6, BLOCK 91, ORIGINAL PLAT OF MADISON, DANE COUNTY, WISCONSIN.

**24 E. DAYTON STREET**  
THE NORTHEAST 33.5 FEET OF THE SOUTHWEST 149 FEET OF THE SOUTHWEST 105.5 FEET OF LOT 6, BLOCK 91, ORIGINAL PLAT OF MADISON, DANE COUNTY, WISCONSIN.

**23 E. JOHNSON STREET**  
THE NORTHEAST 49 FEET OF THE SOUTHWEST 53 FEET OF THE NORTHWEST 75.5 FEET OF LOT 9, BLOCK 91, ORIGINAL PLAT OF MADISON, CITY OF MADISON, DANE COUNTY, WISCONSIN.

NO TITLE REPORT PROVIDED AT TIME OF SURVEY.

**BLOCK 91**  
TOTAL LOT AREA = 87,412 SQUARE FEET  
PART OF LOTS 5, 6 AND 7 = 23,810 SQ. FT.  
PART OF LOTS 8 AND 9 = 8,837 SQ. FT.  
UNITED METHODIST CHURCH PROPERTY = 53,845 SQ. FT.

**LEGEND**

- + CROSS IN CONCRETE
- ⊙ BOX FLARE TRAP
- ⊙ METRIC SIGN
- ⊙ GAS BURN OFF VALVE
- ⊙ WATER BURN OFF VALVE
- ⊙ FEE METER
- ⊙ UNCLE POLE
- ⊙ RECONSTRUCTION LINE
- ⊙ ENDEAVOR TREE
- ⊙ WPA HOLE
- ⊙ LIGHT POLE
- ⊙ DITCH SIGN

- GAS LINE
- WATER LINE
- BURIED TELEPHONE
- RAILROAD TRACK
- OVERHEAD WIRELINE
- OPEN LINE FENCE
- SHADOW
- STOP SIGN
- STOP SIGN
- STOP SIGN

CONCRETE UTILITY = 1 FOOT

ALL SPECTRA INSTRUMENTS OF BIRRENKOTT SURVEYING  
VALUES LISTED IN THIS REPORT ARE THE BEST AVAILABLE. THESE VALUES BEING CONSIDERED AS APPROXIMATE AND NOT TO BE USED AS THE BASIS FOR ANY AND ALL OTHER PURPOSES FOR ALL PROJECTS INVOLVED.

SCALE 1" = 20'



**BIRRENKOTT SURVEYING INC.**  
LAND SURVEYING & PERC TESTING  
P.O. BOX 237  
1677 N. BRISTOL ST.  
SUN PRAIRIE, WIS. 53590  
(608) 837-7483  
FAX (608) 837-1081

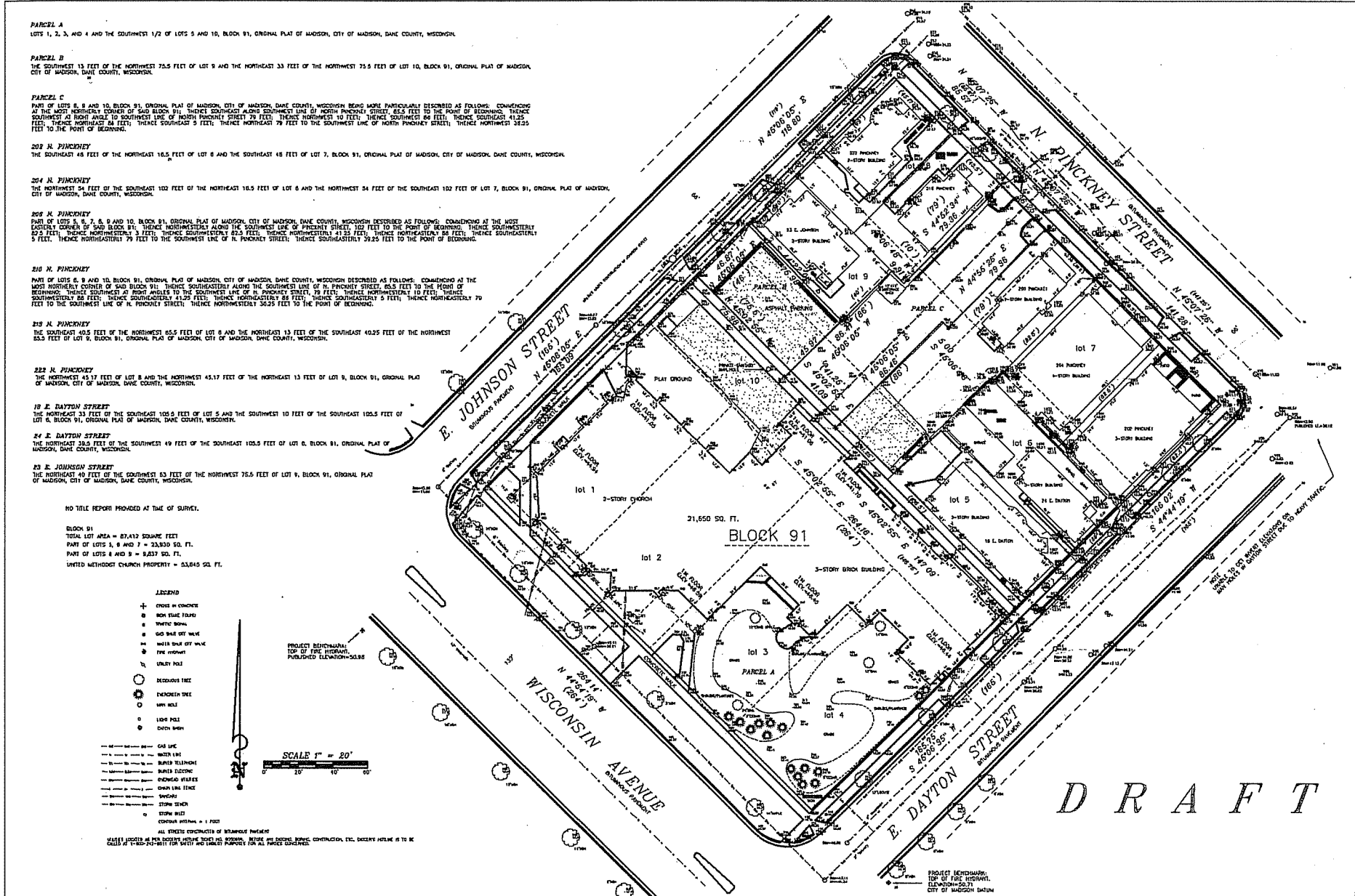
**TOPOGRAPHIC MAP**

SURVEYED BY MK  
DRAWN BY MK  
CHECKED BY \_\_\_\_\_  
APPROVED BY D.V.B.

PREPARED FOR:  
**CAMERON MANAGEMENT, INC.**  
106 E DUTY STREET, SUITE 310  
MADISON, WI 53703  
(608) 256-4200

JOB NO. **041252**  
SHEET **C1.1**  
**243/1-B**  
FB261/15-19

**DRAFT**

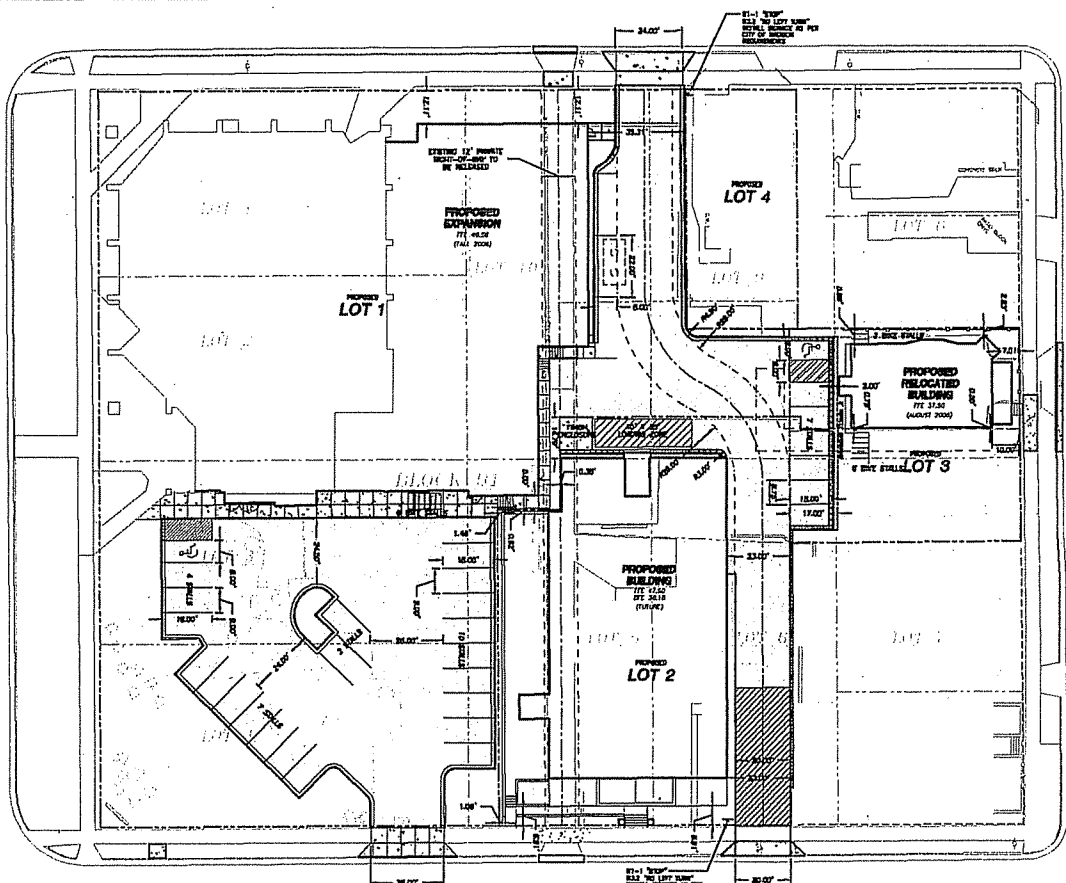


E. JOHNSON STREET

E. DAYTON STREET

WISCONSIN AVENUE

N. PINCKNEY STREET



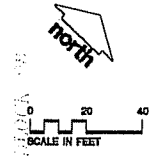
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 • TRANSPORTATION ENGINEERING  
 • SURVEYING AND MAPPING  
 • CONSTRUCTION MANAGEMENT

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PREPARED FOR:  
**LEWIS PROPERTIES**  
 105 E. DOTY ST.  
 MADISON, WI 53703

PROJECT:  
**22 DAYTON**  
 MADISON, WI



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DATE	DESCRIPTION
08-10-06	ISSUE FOR PERMIT
07-28-06	ISSUE FOR PERMIT
07-28-06	ISSUE FOR PERMIT
07-28-06	ISSUE FOR PERMIT
07-28-06	ISSUE FOR PERMIT
07-28-06	ISSUE FOR PERMIT

DATE/DESCRIPTION

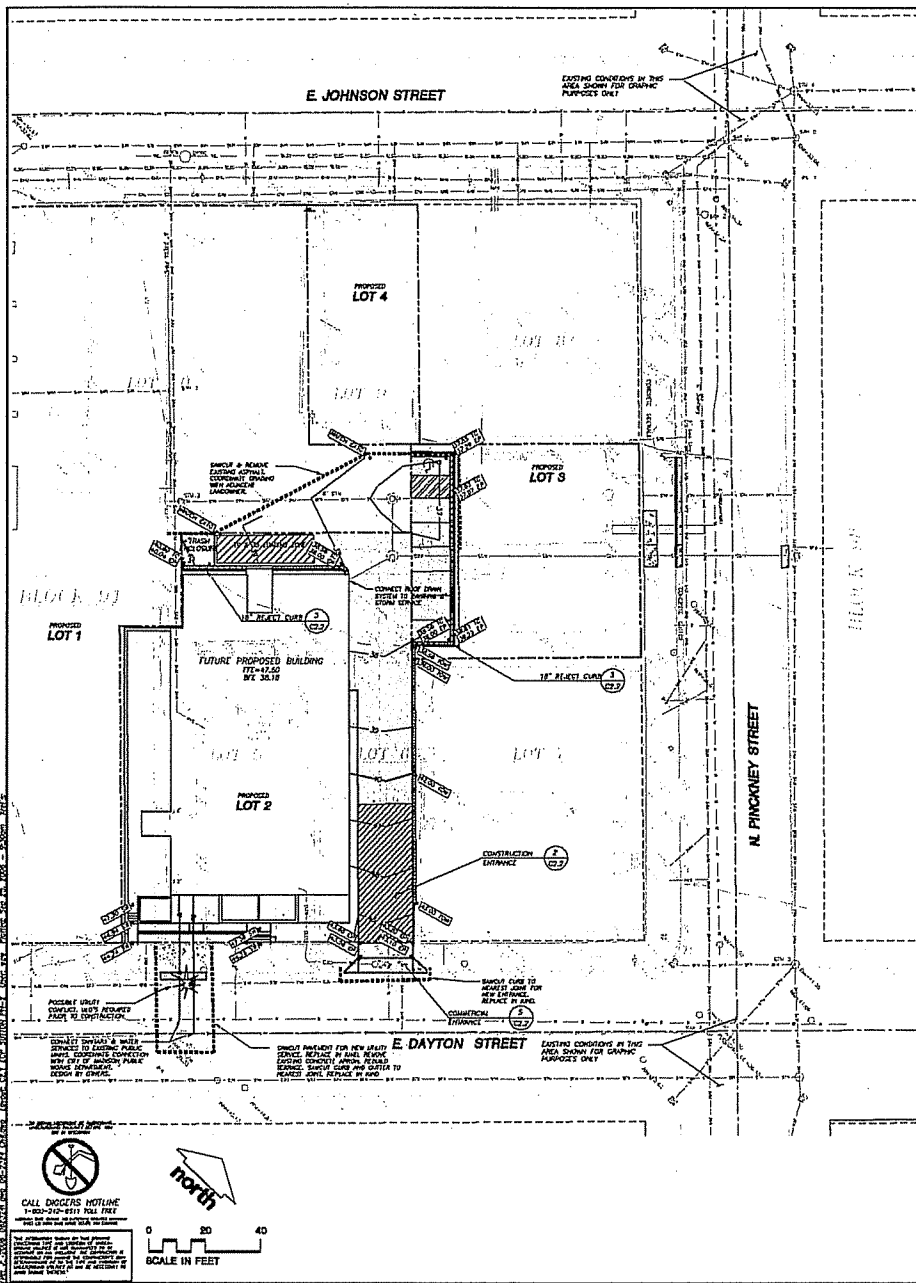
9471 101  
**BLOCK 81  
 GDP  
 SITE PLAN**

9471 NUMBER  
**C2.0**

720 PROJECT NUMBER 00234  
 JSD PROJECT FILE 720-1  
 DATE 8/10/06

**REVIEW DRAWING**  
 NOT TO BE USED FOR CONSTRUCTION  
 DATE OF ISSUE AUGUST 10, 2006

P:\100\1002\1002101\1002101.dwg, User: jst, Date: 08/10/06, Time: 10:00:00 AM, Plot: 08/10/06, 10:00:00 AM



**LEGEND**

---	EXISTING LINE	
---	PROPOSED PROPERTY LINE	
---	EASEMENT LINE	
---	CONSTRUCTION ENTRANCE	
---	1/4" PAVEMENT CURB & GUTTER	
---	CONCRETE SURFACE	
---	DIFFUSION SURFACE	
---	RETAINING WALL	
---	SW CUT	
---	PROPOSED SPOT GRADE	
---	CO	CLEAN OUT
---	ET	EDGE OF PAVEMENT
---	FF	FIRST FLOOR ELEVATION
---	SP	SIDEWALK
---	TOP	TOP OF WALL

- GENERAL NOTES**
1. REFER TO EXISTING CONDITIONS MAP PROVIDED BY ENGINEER/PLANNING INC. FOR EXISTING CONDITIONS NOTES AND LEGEND.
  2. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED CUT FENCE LOCATION.
  3. ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
  4. A CITY LICENSED CONTRACTOR SHALL PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
  5. ANY DAMAGE TO THE PAVEMENT ON PUBLIC STREETS WILL REQUIRE REPAIR/RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PAVING CRITERIA.
  6. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB & GUTTER WHICH ADJUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR REQUIRED TO BE REPLACED BY THE CITY ENGINEER DUE TO GRADINGS.
  7. ALL EXISTING DRAINAGE INFRASTRUCTURE WHICH ARE TO BE ABANDONED SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER AS NOTED ON THE PLAN.
  8. FUTURE STORM SEWER CONNECTION TO EXISTING STORM MAINLINE TO BE INSTALLED BY ADJACENT DEVELOPER. PROVIDE TEMPORARY GROUND BASH INLET FOR STORM WATER CONVEYANCE. COORDINATE CONSTRUCTION EFFORTS WITH ADJACENT DEVELOPER'S CONTRACTOR.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNIQUE STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
  3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  6. INSTALL A TRASHBOX PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRASHBOX PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
  7. INSTALL EROSION CONTROL ON THE DOWNSTREAM SIDE OF SEDIMENTATION.
  8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES IN ACCORDANCE WITH BMP'S.
  9. EROSION CONTROL FOR UTILITY TRENCH RESTORATION, SANITARY SEWER, WATER MAIN, ETC.:
    - A. PLACE SEDIMENTATION TRENCH MATING ON THE HOUSI-SIDE OF THE TRENCH.
    - B. INSTALL CHECK DAMS IN THE TRENCH IMMEDIATELY AFTER THE CONSTRUCTION.
    - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  10. STONE CHECK DAMS SHALL BE PLACED IN FRONT OF SOIL FENCING IN ANY LOW AREA.
  11. APPLY AROMATIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTIONS, LOCAL INSPECTIONS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
  13. ALL SLOPES EXCEEDING 3:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC. SEE SEEDING & GRASSING NOTE 2.
  14. SLOPE PROTECTION TYPE D STANDARD DETAIL. FOR SLOPE PROTECTION IS LOCATED IN THE FACILITIES DEVELOPMENT MANUAL, CHAPTER 16, SDD NUMBER 850-2.

- UTILITY NOTES**
1. DIMENSIONS HAVE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
  2. IF ANY UTILITY DISCREPANCIES OR DISCREPANCIES WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CORRECTIONS OR REVISIONS CAN BE MADE.
  3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
  5. THE CONTRACTOR SHALL INSTALL A PERIMETER FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
  6. DANGEROUS MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH SHOULDER SHALL BE CONSTRUCTED PER SPECIFICATIONS.
  7. CONTRACTOR IS RESPONSIBLE FOR UTILITY TRENCH RESTORATION, INCLUDING TOPSOIL PLACEMENT AND SEEDING, FOLLOWING COMPLETION OF UTILITY CONSTRUCTION.
  8. RESTORATION OF THE EXISTING PAVING REQUIREMENTS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
  9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET REQUIREMENTS AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, SDMA, AND WISCONSIN DOT.
  10. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR:
    - OBTAINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS AND REPORTING TO THE ENGINEER AND RECORDING PRIOR TO THE START OF CONSTRUCTION.
    - OBTAINING ALL PERMITS INCLUDING PERMIT DIGGING, LAP FEES, WATER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY, VERIFYING UTILITY ELEVATIONS AND VERIFYING DEPTHS OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
    - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
    - NOTIFYING THE RECORD ENGINEER AND IMMEDIATELY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
  11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE RECORDED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PROVIDED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONS, REVISIONS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
  12. THE OWNER CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR RESOLVING ANY DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
  13. ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
  14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
  15. CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE COMMENCING TO PUBLIC UTILITIES.
  16. ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO CODEM 84.30-6.
  17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO CODEM 84.30-6.
  18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO CODEM 84.30-7.
  19. CONTRACTOR SHALL COORDINATE NEW, RELOCATED, AND/OR ABANDONED GAS, ELECTRIC, AND FIBER OPTIC UTILITIES WITH APPROPRIATE UTILITY COMPANIES FOR SERVICE TO PROPOSED BUILDINGS/RELOCATED BUILDINGS.

- PAVING NOTES**
1. ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, APPLICABLE TO THE CITY OF MADISON ORDINANCES.
  2. PAVEMENT DESIGN SHALL BE BASED UPON GEOTECHNICAL REPORT PROVIDED BY GEOTECHNICAL ENGINEER OR A MINIMUM 3" ASPHALT FRACTION FROM PAVEMENT TYPE 1-1/2" CONFINED IN 3' LAYER. LOWER LAYER SHOULD BE 1.5" AND THE UPPER LAYER SHOULD BE 1.5". THE UPPER AND LOWER LAYERS OF THE PMA PAVEMENT STRUCTURE SHOULD CONSIST OF 12.5 MM PORTLAND CEMENT FINE AGGREGATE GRAVATION AN EQUALS SENSER GRADE OF PC-94-23 MAY BE USED FOR THE UPPER AND LOWER LAYS.

- GRASSING AND SEEDING NOTES**
1. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEE ME 20 IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
  2. CONTRACTOR TO USE A SEEDING RATE OF 3.5 LBS. PER 1000 SQ. FT. FOR TURF GRASS.
  3. ALL SLOPES EXCEEDING 3:1, CONFORMING TO WISCONSIN DOT SPECIFICATIONS, SHALL BE STABILIZED WITH GRASS. TYPE B EROSION MATING OR APPLICATION OF A MOST APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEORY, AS REQUIRED. CONTRACTOR SHALL PROVIDE PROTECTIVE SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
  4. ALL PROPOSED GRASSES SHOWN ARE FINISHED GRASSES. CONTRACTOR SHALL VERIFY ALL GRASSES, MAKE SURE ALL AREAS DRAWN PROPERTY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. GENERAL CONTRACTOR SHALL VERIFY TO WITHIN 8" OF FINISHED GRADE FOR ALL FINISHED GRASS. 24" OF FINISHED GRADE FOR PLANTINGS, AND 24" OF FINISHED GRADE FOR PAW GRASS AREAS.
  5. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH S&S FENCING FOR EROSION CONTROL. UNTIL CONSTRUCTION IS COMPLETED.
  6. CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
  7. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TIMES THE SWELLS AND DETENTION AREAS JUST PRIOR TO SEEDING TO PROMOTE INFILTRATION.
  8. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SEEDING MONTHS WHENEVER THERE IS A 3 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

**REVIEW DRAWING**  
 NOT TO BE USED FOR CONSTRUCTION  
 DATE OF ISSUE SEPTEMBER 25, 2006

**JSD** Engineers & Architects  
 Justin Ferry & Pauling, Inc.  
 • PLANNING & DEVELOPMENT  
 • CIVIL ENGINEERING  
 • TRANSPORTATION ENGINEERING  
 • SURVEYING AND MAPPING  
 • CONSTRUCTION MANAGEMENT

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PREPARED FOR  
**LEWIS PROPERTIES**  
 105 E. DOTY STREET  
 MADISON, WI 53703

PROJECT  
**22 DAYTON  
 PHASE II**

MADISON, WI

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DATE	DESCRIPTION
09-27-06	Issue
09-27-06	Design
09-27-06	Review
09-27-06	Final

**DESCRIPTION**

EROSION CONTROL, GRADING & UTILITY PLAN

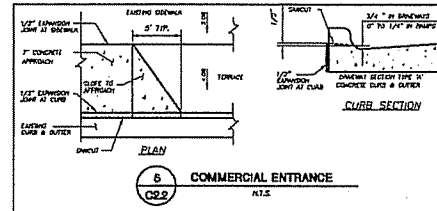
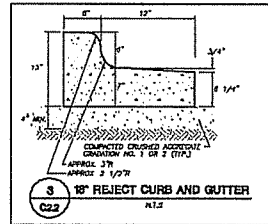
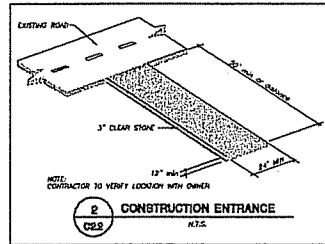
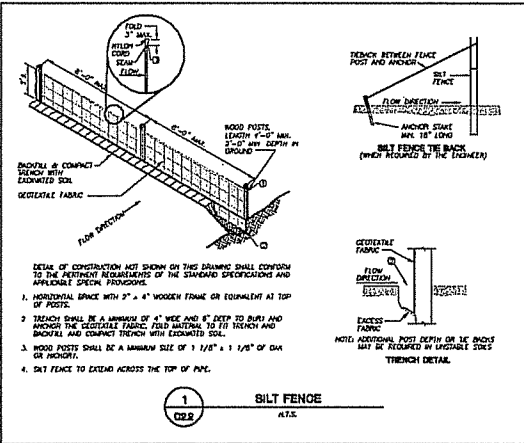
SHEET TITLE  
**C2.1B**

SHEET NUMBER  
 022124

PROJECT NUMBER  
 022124

DATE  
 09/25/06

SCALE  
 1" = 20'



**JSD** Engineers & Surveyors  
 Jordan Survey & Design, Inc.

PLANNING & DEVELOPMENT  
 CIVIL ENGINEERING  
 TRANSPORTATION ENGINEERING  
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 CONSTRUCTION MANAGEMENT

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402 N22831 Honey Court  
 Suite 2  
 Milwaukee, Wisconsin 53189  
 (414) 514-0006

PREPARED FOR:

**LEWIS PROPERTIES**

106 E. DOTY STREET  
 MAUSON, WI 53703

PROJECT  
**22 DAYTON**

MAUSON, WI

Although every effort has been made in preparing these plans and specifications for contracts, the contractor and subcontractors must check all details and dimensions of their work and be responsible for the same.

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DATE	DATE
Drawn BY	02-21-06
Checked BY	02-21-06
Approved By	02-21-06
DATE OF REVISION	02-21-06
BY	02-21-06
REVISION	02-21-06

SCALE/DIMENSION

WITH THE  
**EROSION CONTROL DETAILS**

DRAW NUMBER

**C2.2**

JSD PROJECT NUMBER

02324

JSD PROJECT FILE

TCM 1

DATE

N.T.S.

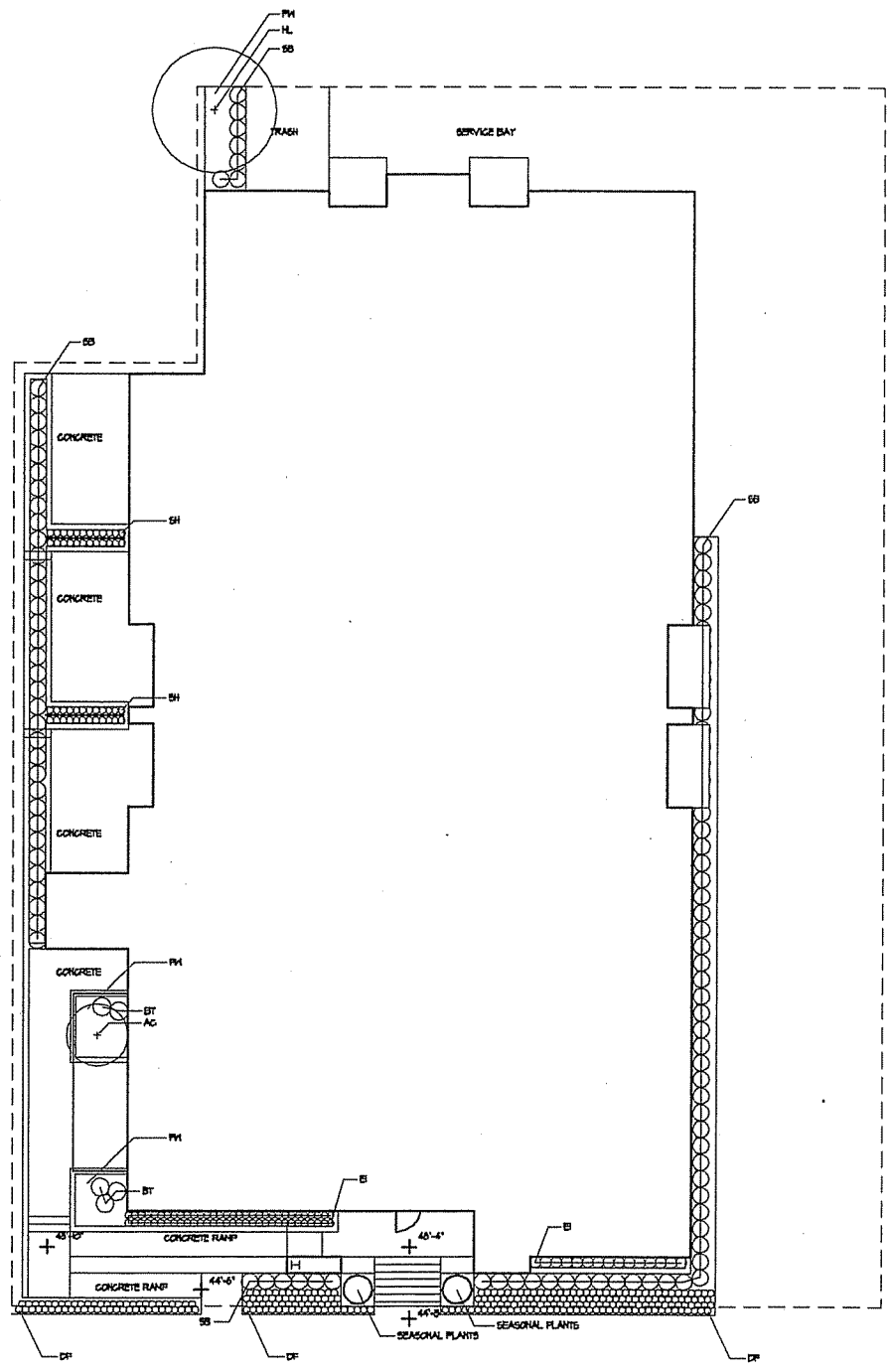
**REVIEW DRAWING**  
 NOT TO BE USED FOR CONSTRUCTION  
 DATE OF ISSUE SEPTEMBER 25, 2006

**PROJECT**  
22 Dayton (Phase II)  
Residential  
East Dayton Street  
Madison Wisconsin 53703

**DRAWING**  
LANDSCAPE PLAN

**DATA**  
Project # 200525  
Date 02.21.07  
Drawn by jwa.

**C3.0**

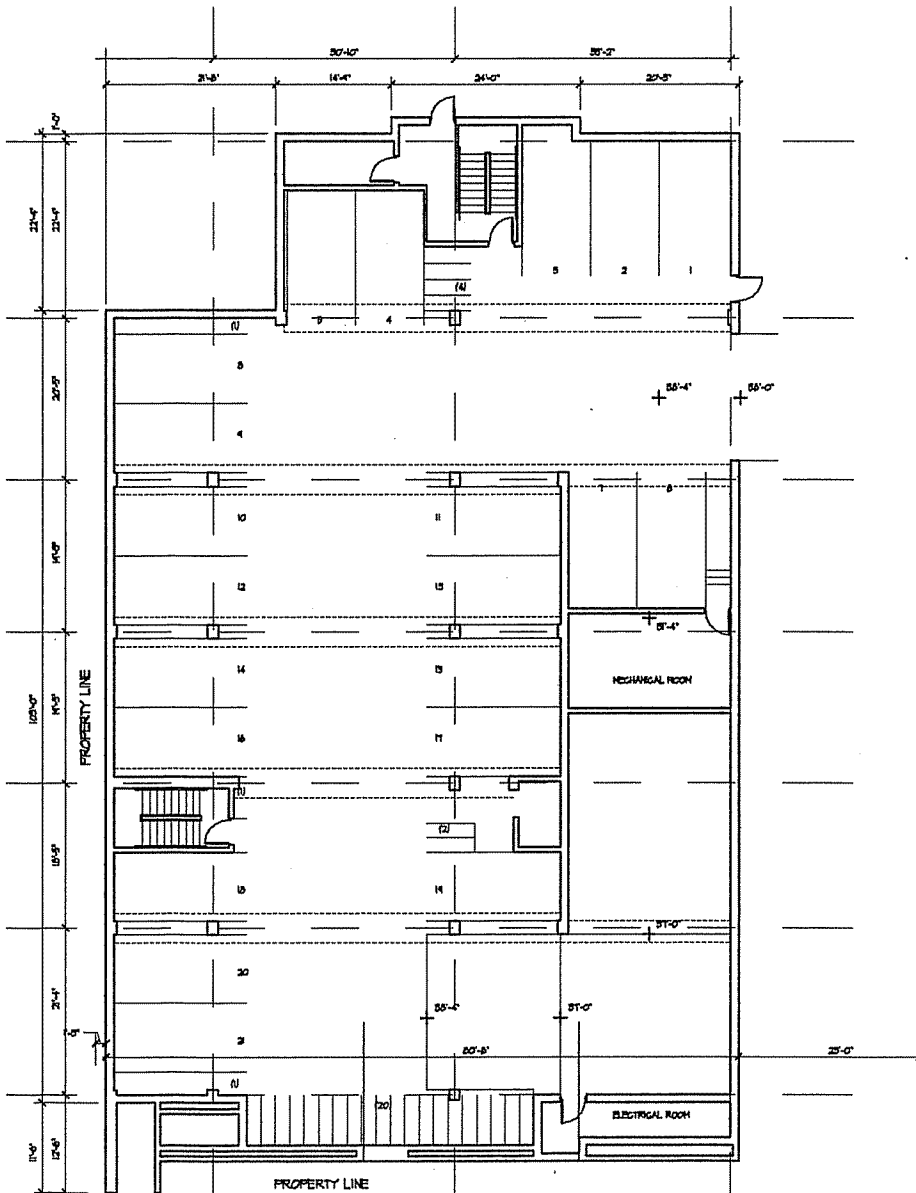


**PLANT LIST**

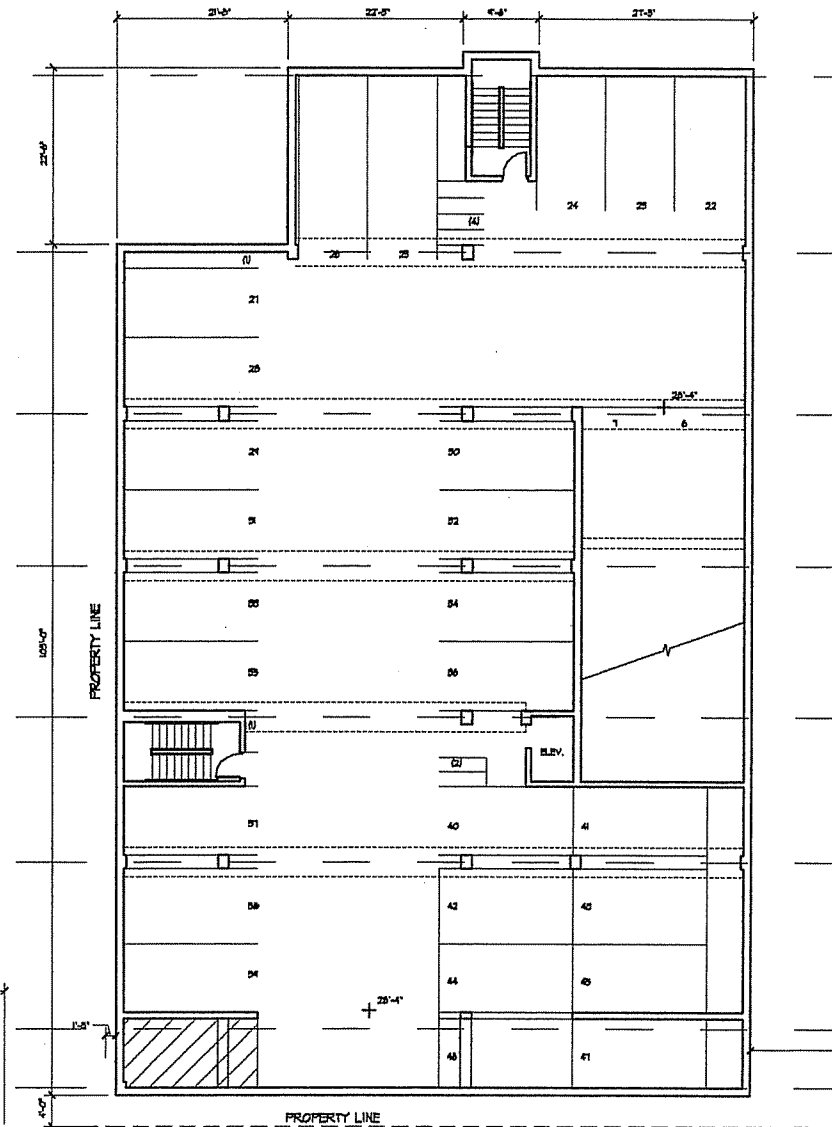
KEY	NAME	SIZE	ROOT
HL	SKYLARK HONEYLOCUST	3" GAL.	BB
AC	SERVINGEBERRY	2" GAL.	BB
SS	SOLIFLAME SPirea	3 GAL.	POTS
SI	FRANKS DOGWOOD	3"	POTS
BT	CHAMP RED BARBERRY	8'-10"	BB
PH	PURPLE-LEAF WINTERGREEN	4"	CONT.
B	ENGLISH IVY	4"	POTS
DF	DWARF FLEECE FLOWER	3"	CONT.

1 LANDSCAPE PLAN  
SCALE 1/8" = 1'-0"





1 PARKING LEVEL A FLOOR PLAN  
 SCALE 1/8" = 1'-0"  
 NORTH

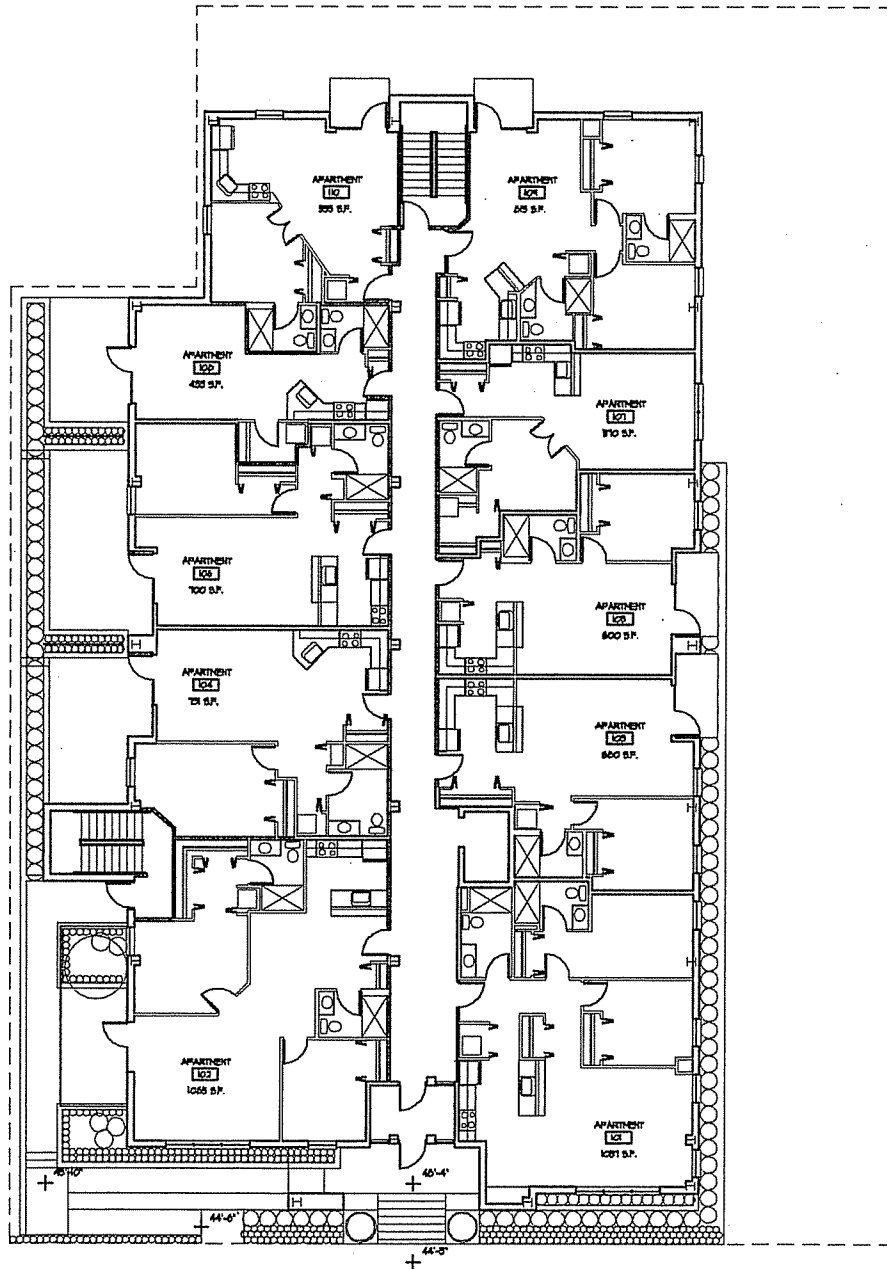


1 PARKING LEVEL B FLOOR PLAN  
 SCALE 1/8" = 1'-0"  
 NORTH

**PROJECT**  
 22 Dayton (Phase II)  
 Residential  
 East Dayton Street  
 Madison Wisconsin 53703

**DRAWING**  
 FLOOR PLANS

**DATA**  
 Project# 200523  
 Date 02.21.07  
 Drawn by jax



1 FIRST FLOOR PLAN  
A1.2 SCALE 1/8" = 1'-0"



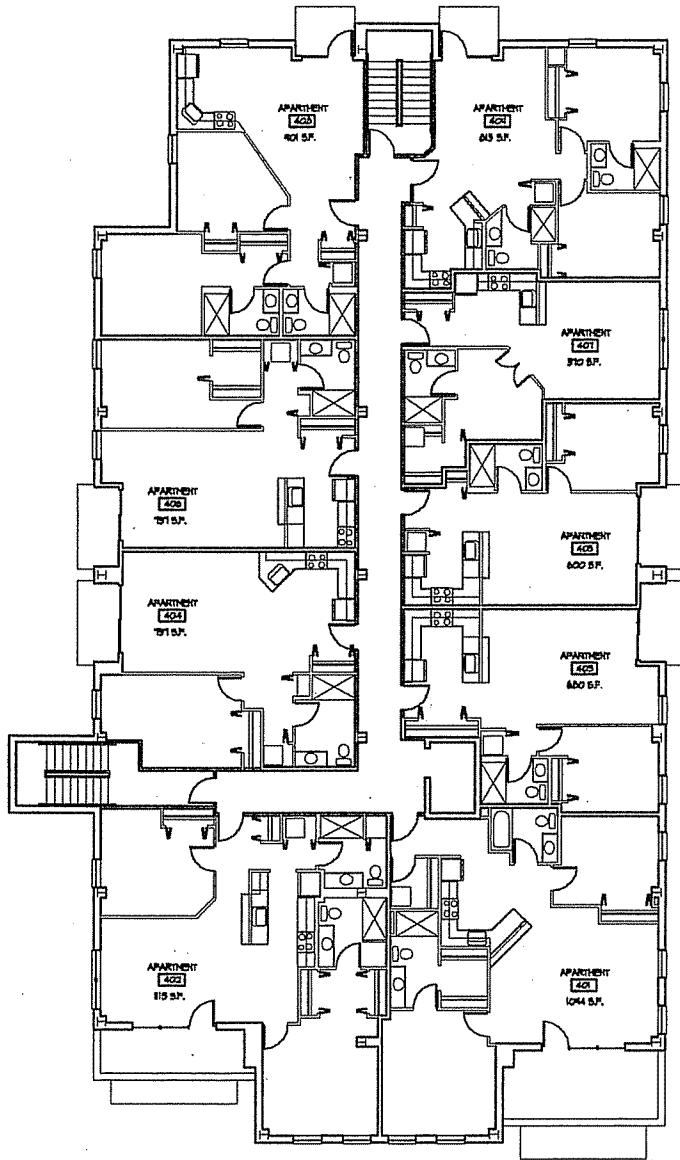
**PROJECT**  
22 Dayton (Phase II)  
Residential  
East Dayton Street  
Madison Wisconsin 53703

**DRAWING**  
FLOOR PLANS

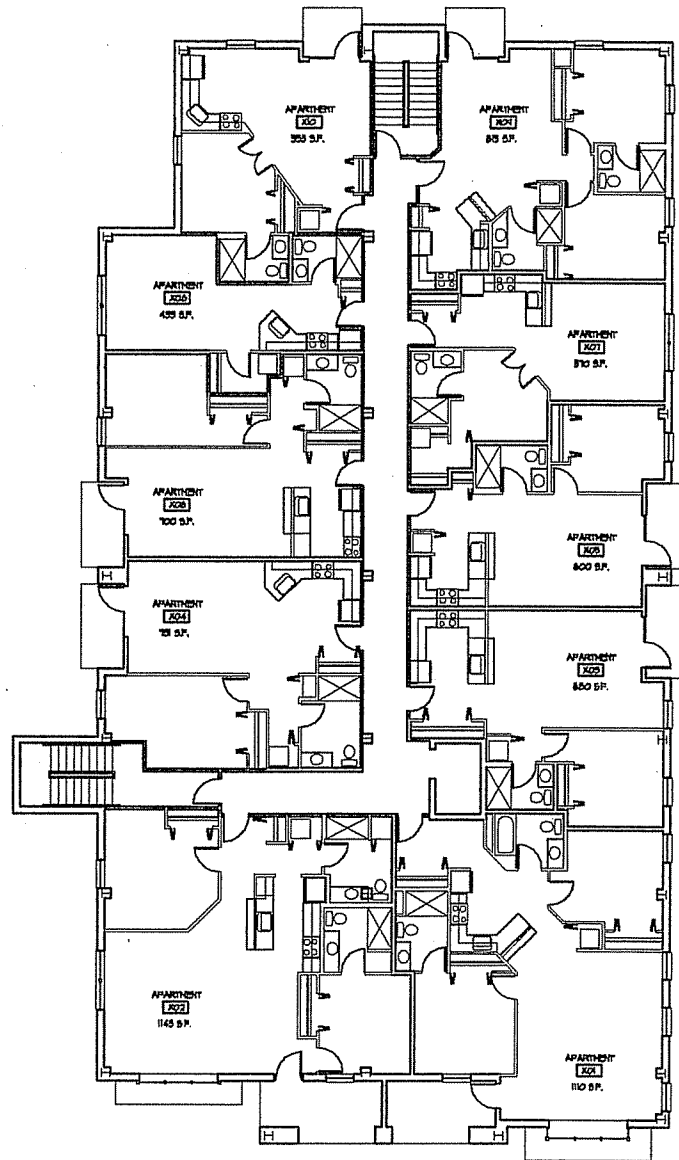
**DATA**  
Project # 200525  
Date 02.21.07  
Drawn by JKA

A1.2





1 FORTH FLOOR PLAN  
A1.5 SCALE 1/8" = 1'-0"



1 SECOND/THIRD FLOOR PLAN  
A1.5 SCALE 1/8" = 1'-0"



PROJECT

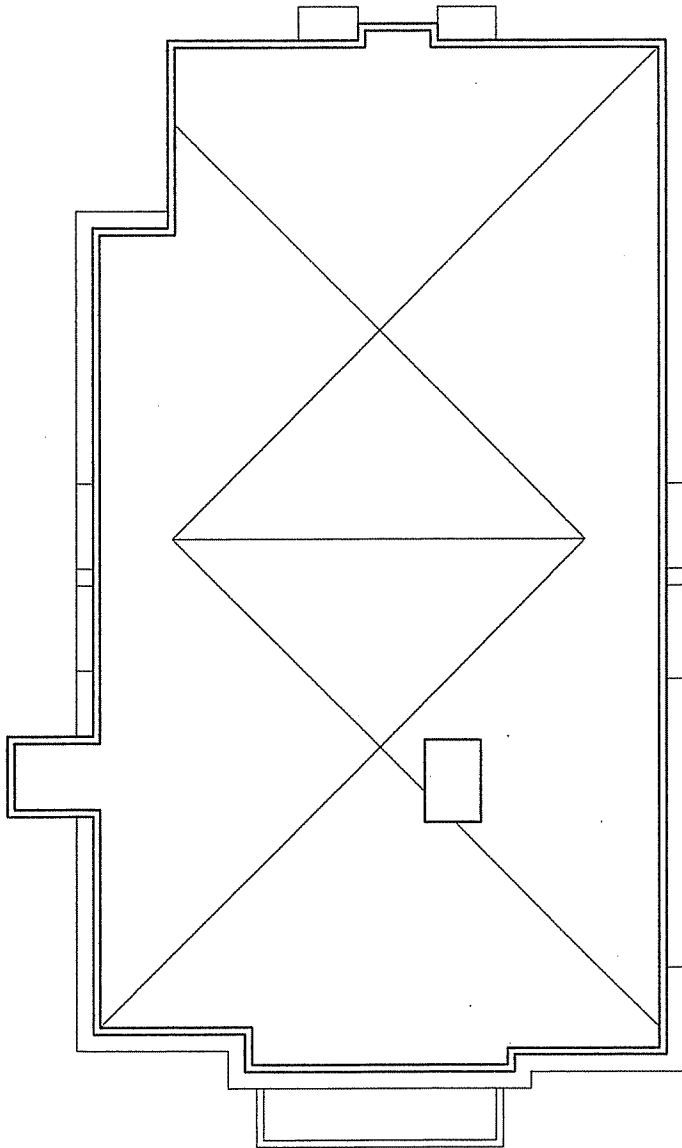
22 Dayton (Phase II)  
Residential  
East Dayton Street  
Madison Wisconsin 53703

DRAWING

FLOOR PLANS

DATA

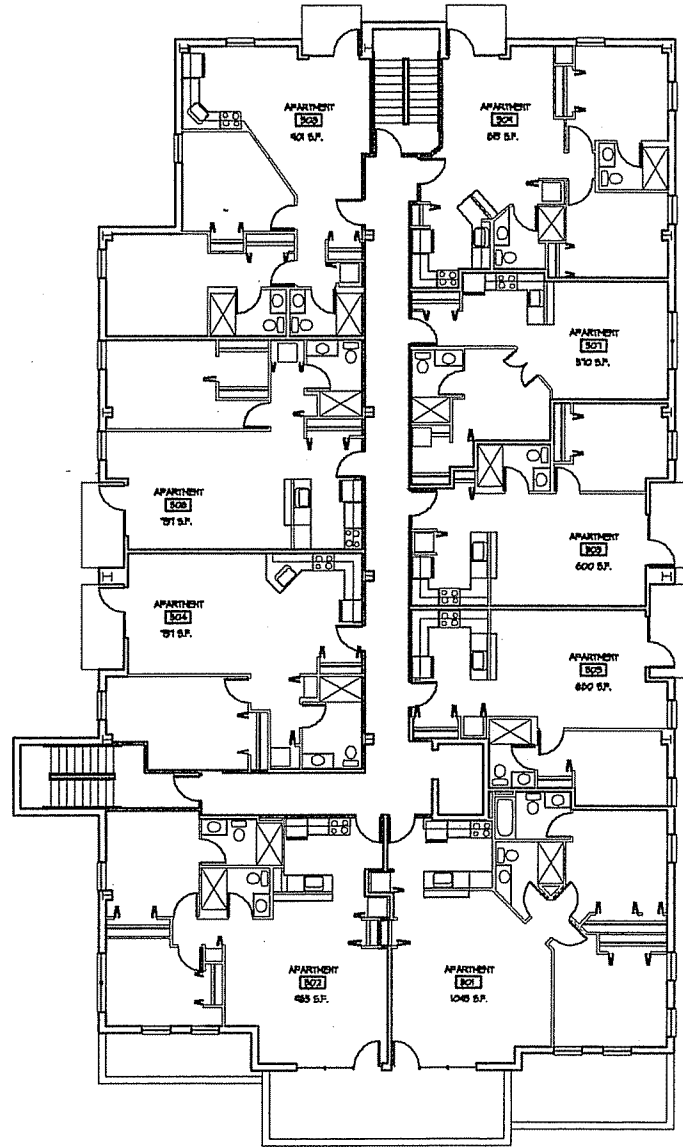
Project # 200525  
Date 02.21.07  
Drawn by jwx



1 ROOF PLAN  
SCALE 1/8" = 1'-0"



NORTH



1 FIFTH FLOOR PLAN  
SCALE 1/8" = 1'-0"



NORTH

**PROJECT**

22 Dayton (Phase II)  
Residential  
East Dayton Street  
Madison Wisconsin 53703

**DRAWING**

FLOOR PLANS

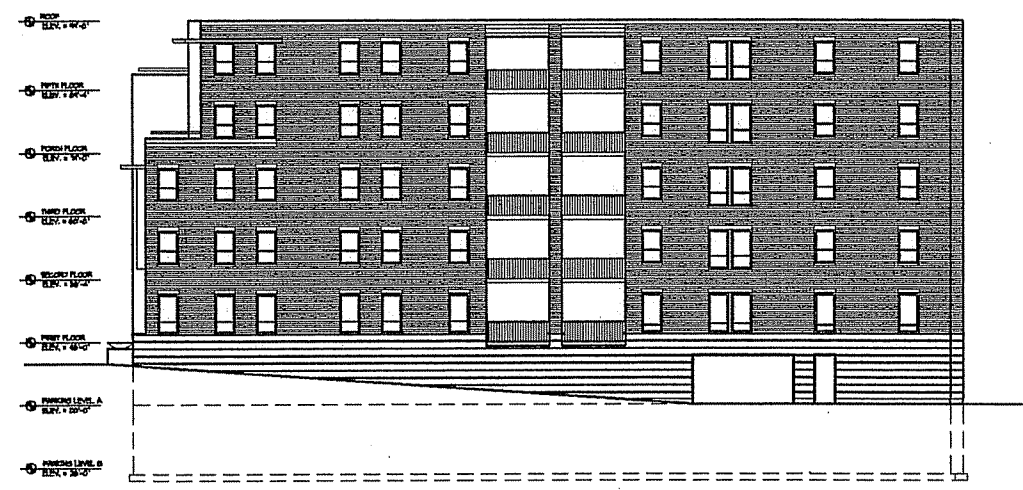
**DATA**

Project # 200525  
Date 02.21.07  
Drawn by JWA

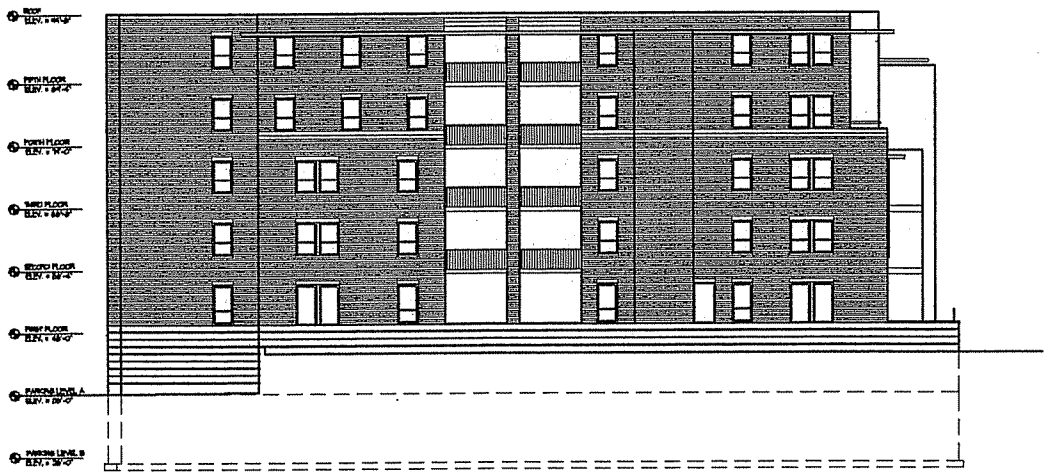
A1.4



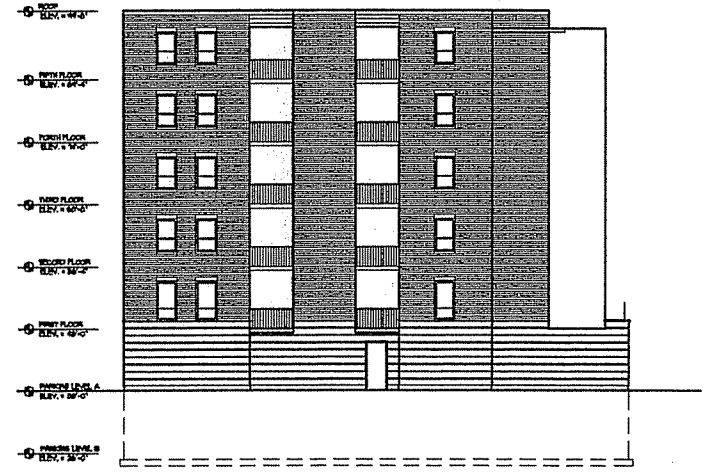
1 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE 1/8" = 1'-0"



4 NORTH ELEVATION  
SCALE 1/8" = 1'-0"

**PROJECT**  
22 Dayton  
Residential  
Dayton Street  
Madison, Wisconsin 53703

**DRAWING**  
BUILDING ELEVATIONS

**DATA**  
Project # 800025  
Date 02.21.07  
Drawn by jaa

