

Conditional Use Permit List of Drawings

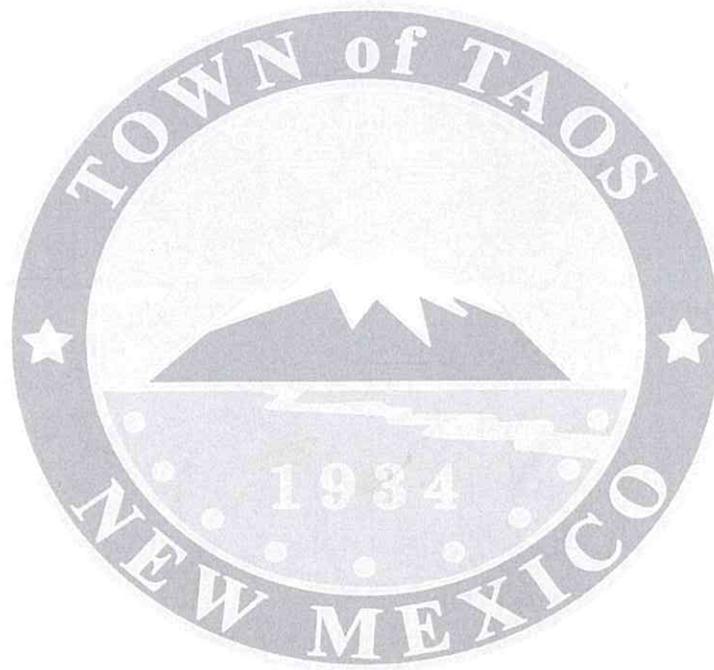
1. Conditional Use Permit Application
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TOWN OF TAOS

CONDITIONAL USE PERMIT

APPLICATION PACKET

PLANNING, COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT



CONDITIONAL USE PERMIT APPLICATION

Planning, Community and Economic Development Department
400 Camino de la Placita
Taos, NM 87571
Phone (575-751-2016
Fax (505) 751-2026



CASE NO PZ20 _____ - _____

PROPERTY OWNER INFORMATION

Name	EDELMAN FAMILY REVOCABLE - MAX EDELMAN.		
Mailing Address	PO BOX 455		
City ST ZIP Code	ARROYO SECO NM. 87514.		
Telephone Number	575-741-0025	Cell Phone	575-741-0025
E-Mail Address	MAXEDELMAN@gmail.com		

AGENT INFORMATION

Name	MILLAS PATTERSON: LEVING DESIGNS LANDSCAPE ARCHITECTS.		
Mailing Address	122 A CAVA LUL		
City ST ZIP Code	TAOS NM 87571.		
Telephone Number	575-751-9481	Cell Phone	575-770-6562
E-Mail Address	dpatterson@lobarch.com		

ZONING INFORMATION

Subject Property Address	TBD.		
Use Description	MULTIFAMILY APARTMENTS		
Acreage of Subject Property	2.0	Zoning	HCPD
Gross Floor Area of Project	Existing:	New:	
New Construction (Circle One)	<u>YES</u>	NO	

CONDITIONAL USE PERMIT APPLICATION SUBMITTAL CHECK LIST

The following submittals are required in order to be placed on the Planning and Zoning Commission Agenda for their next available regularly scheduled monthly meeting. Please complete and submit 10 copies on 8 1/2 x 11 paper of the requested information (except where otherwise indicated). Information will be due as seen fit by the Site Development Review Staff of the Town of Taos Planning, Community and Economic Development Department. Incomplete, inadequate or late submittals will result in delay or rejection of the request for a Conditional Use Permit. Please contact staff with questions regarding the submittals required herein.

Agreement and Signature

I, the undersigned, understand that any discussions and/or other communications between any authorized representative for this application and any/all Town of Taos Staff members regarding this application do not constitute the entire review of this application and that additional and/or alternate conditions and/or requirements above and beyond those that may have been discussed may be required. I also realize that failure to include applicable application material(s) may result in the rejection of my application or delays in the approval process. I also certify that the signature(s) affixed to this application are those for the property owner and authorized agent. If I am the agent, I am including an owner's affidavit.

Property Owner Name (printed)	Eddman Family Revocable Trust
Signature	[Signature]
Date	8/2/22
Agent Name (Printed)	DAVID PATTERSON - LEVEL 111 DESIGN GROUP ARCHITECTS
Signature	[Signature]
Date	1.20.22

Attached:

16.20.080.4: Special Use Permit/Conditional Use Permit/Provisional Permit; Site Development Plan Requirements

16.12.040.5: Application Procedure

Owner's Affidavit

Date Application Received: Stamped by Town of Taos.

CONDITIONAL USE APPLICATION - 2.0 ACRES



Owner's Affidavit
(To be completed only when an applicant has an agent)

State of New Mexico)
) SS.
Town of Taos)

We/I Mase Edelman
(Please print full name(s))

Being duly sworn, depose and say that (I am) (we are) requesting a permit or application through the Town of Taos. Furthermore, (I) (we) hereby appoint LILLIAN PATTERSON To act as our authorized agent on our behalf on all matters pertaining to the processing and obtaining of said permit with the exception of legal documents for recording purposes.

[Signature]
Signature

2/7/20
Date

P.O. Box 455 Arroyo Seco, NM 87514
Address

Subscribed and sworn to before me this
7 Day of FEB, 20 22

[Signature]
Notary Public

My commission Expires: MAY 28, 2025



FNMT 9111-54-841 | 99030407

TAOS COUNTY
ANNA MARTINEZ, CLERK
000446088
Book 1057 Page 829
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08/07/2020 11:07:18 AM
BY GEORGIAS

WARRANTY DEED

PROJECT 528 LLC, a New Mexico limited liability company, for consideration paid, grants to RICHARD S. EDELMAN and MAX EDELMAN, as Trustees of The Edelman Family Revocable Trust, as amended and restated by that Third Amendment and Restatement dated February 27, 2020, whose address is P.O. Box 455, Arroyo Seco, New Mexico 87514, the following described real estate in Taos County, New Mexico:

A certain tract of land south of Taos, Taos County, New Mexico; within the Cristoval de La Serna Grant; located within projected Section 30, Township 25 North, Range 13 East, New Mexico Principal Meridian; described as part of Tract 64, Map 39, Survey 2, of the 1941 Taos County Reassessment Survey and more particularly described by metes and bounds as follows:

BEGINNING at the southwest corner of this tract, a ½ inch rebar found at a fence corner, from whence triangulation station "Lady", a 1973 State Engineer Office brass cap monument found, bears N 87° 44' 38" W, 2136.7 feet distant, thence;

N 38° 44' 24" E, 196.71 feet to the northwest corner, a ½ inch rebar set, thence;
S 52° 10' 46" E, 48.06 feet to a ½ inch rebar found, thence;
S 52° 22' 23" E, 417.72 feet to the northeast corner, a point on the westerly right-of-way of State Road 68, from whence a ½ inch rebar found as a witness corner, bears N 52° 22' 23" W, 0.35 feet distant, thence along said right-of-way;
S 37° 38' 19" W, 176.55 feet to the southeast corner, a point at a fence corner, from whence a ½ inch rebar found as a witness corner, bears S 54° 49' 13" E, 0.26 feet distant, thence leaving said right-of-way and along a fence line;
N 54° 48' 26" W, 469.98 feet to the POINT AND PLACE OF BEGINNING.

This tract contains 2.002 acres, more or less, and is transferred together with all appurtenant surface irrigation water rights.

SUBJECT TO:

1. Reservations as contained in the patent from the United States of America to the Cristoval de La Serna Grant, dated January 19, 1903 and filed for record in Book A-16 at pages 324-344, records of Taos County, New Mexico.
2. Gravel road traversing subject property and any easements or claims of easement for the overhead utility lines, and any underground utility lines associated therewith, as more fully shown on that plat of survey for Eloisa Trujillo, by James D. Crowl, NMLS #5213 of Rio Grande Surveying Service, dated January 21, 1991.

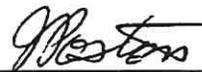
3. Rights incident to the use and maintenance of the irrigation ditch/acequia.

4. Gravel access road traversing subject property, nature and extent of foundation ruin and any easements or claims of easement for the six inch (6") diameter capped pvc pipes, tel-co pedestal (on property boundary), sewer cleanouts (on property boundary), power poles, guys, telephone pedestal (on property boundary), overhead utility lines and gas meter riser, and any underground utility lines associated therewith; all as more fully shown on that Improvement Location Report entitled, "Project 528, LLC to Edelman Construction, Inc." by Craig T. Gillio, NMLS #14833, of Taos Surveying, dated August 4, 2020 and bearing project no. 220-134.

with warranty covenants.

Witness my hand and seal this 7 day of August, 2020.

PROJECT 528 LLC, a New Mexico
limited liability company

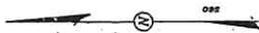


By: Jeffrey Poston,
Member/Manager

TAOS COUNTY
ANNA MARTINEZ, CLERK
000446088
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08/07/2020 11:07:18 AM
BY GEORGIAS

(End of Page: Acknowledgment Follows)

Within projected Section 30,
Township 25 North, Range 13 East, NHPM
And the Cristoval de la Serna Grant



LEGEND

- 1/2 in. rebar set
- 1/2 in. rebar found
- 1/2 in. rebar set previously
- 1973 SED brass cap iron
- NMSHC 1/4" rail iron
- telephons dig's box
- natural gas meter
- TV drop box
- brass pipe cap
- brass pipe
- overhead power line
- irrigation ditch
- existing road
- prior survey line
- ultrasonic corner
- "Point and Plane of Beginning"
- Pk survey line

SPECIAL CERTIFICATE

To: First NM Title & Abstract Co., Inc.
and Eloisa Trujillo

This is to certify that this map or plat and the survey upon which it is based were made in accordance with Minimum Standard Detail Surveying Rules established and adopted by ALTA and ASCM in 1986, and meet the accuracy requirements of a Class B Survey, as defined therein, and also conforms to the minimum requirements of the Standards for Land Surveys adopted by the State Board of Registration of Professional Surveyors and Land Surveyors.

James D. Crowl
NMLS# 5213

ALTA/ASCM Land Title Survey

Survey Plat

Eloisa Trujillo
To Doug Terry

#12701
5-11-98
137

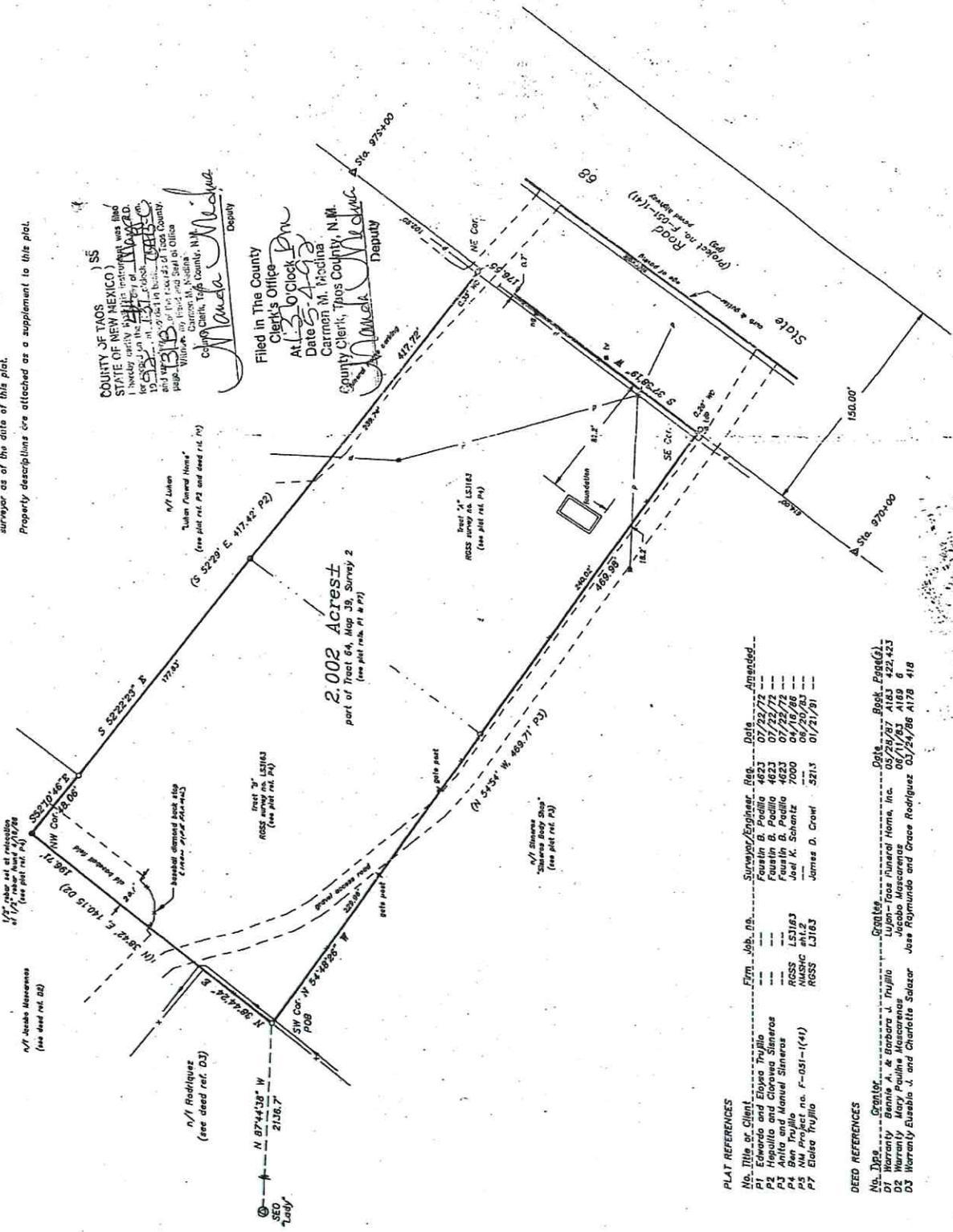
BEARING BASE

Bearings of this survey are based on the 1973 SED published geodetic bearing between triangulation stations "Boque" and "Ledy".

SURVEYOR'S NOTES

There may be recorded or unrecorded documents in existence which affect the title, restrictions, easements, or overlaps that are unknown or have not been provided to this surveyor as of the date of this plat.

Properly descriptions are attached as a supplement to this plat.



COUNTY OF TAOS (SS)
STATE OF NEW MEXICO

I, Surveyor James D. Crowl, do hereby certify that the foregoing plat was filed for record in the County of Taos, New Mexico, on the 13th day of May, 1998, and that the same is a true and correct copy of the original as filed in my office.

James D. Crowl
County Clerk, Taos County, N.M.
Deputy

Filed in the County Clerk's Office
At 5:00 Clock P.M.
Date 5-13-98
Carmen M. Medina
County Clerk, Taos County, N.M.
Deputy

No. Title or Client	Firm	Job No.	Surveyor/Engineer	Reg.	Date	Amended
P1 Eduardo and Eloisa Trujillo			Faustin B. Padilla	4823	07/23/72	
P2 Herculito and Choroa Sinneros			Faustin B. Padilla	4823	07/23/72	
P3 Anita and Manuel Sinneros			Faustin B. Padilla	4823	07/23/72	
P4 Ben Trujillo	RGSS	LSJ183	José X. Schantz	7000	04/16/98	
P5 Ben Trujillo	RGSS	LSJ183	James D. Crowl	5213	07/21/91	
P7 Eloisa Trujillo	RGSS	LSJ183	James D. Crowl	5213	07/21/91	

No. Date	Grantor	Grantee	Book	Page(s)
D1	Warranty Mary Paulina Mascareñas	Luján - Foa Juarez Hanna, Inc.	05/24/97	A183, 422, 423
D2	Warranty Mary Paulina Mascareñas	Jacobo Mascareñas	06/11/83	A189, 6
D3	Warranty Eloisa J. and Charlotte Salazar	José Raymundo and Grace Rodriguez	03/24/86	A178, 418

Property Owners -	edelman PUD Application	
Owner Number	Owner Name	Owner Address
15393	JPE SAGEBRUSH LLC	31 NORTH TEJON STREET SUITE 400 COLORADO SPRINGS CO 80903
21512	SISNEROS, JOE P & SISNEROS, ROSE E	PO BOX 96 RANCHOS DE TAOS NM 87557
18115	DURAN, EMMA S	1112 CASA MARIA RD NE ALBUQUERQUE NM 87113
74294	SALAZAR, JACQUELINE L	PO BOX 1058 RANCHOS DE TAOS NM 87557
19506	ONELEVEN, LLC	322 DEVARGAS LANE TAOS NM 87571
12490	STOKAS, LINDA A	19 VISTA DEL MAR UNIT A EL PRADO NM 87529
22088	VAROS, CELSO & VAROS, PERSCILLA & ALFORD, LINDA	1536 PASEO DEL SUR RANCHOS DE TAOS NM 87557
37091	SISNEROS, JOHNNY	PO BOX 2313 RANCHOS DE TAOS NM 87557
17363	CARDENAS, MANUEL R & CARDENAS, MARY INEZ	BOX 58 RANCHOS DE TAOS NM 87557
92181	SISNEROS, JOHNNY	PO BOX 2313 RANCHOS DE TAOS NM 87557
92183	SISNEROS, ANGELA	PO BOX 2313 RANCHOS DE TAOS NM 87557
21513	LUCERO, BENITA	PO BOX 72 TAOS NM 87571
21516	SISNEROS, JOHNNY M & SISNEROS, DOROTHY & ETAL	PO BOX 2313 RANCHOS DE TAOS NM 87557
21511	SISNEROS, DAVID C & SISNEROS, JOEY G	PO BOX 98 RANCHOS DE TAOS NM 87557
57686	B TRUST CREATED UNDER THE WILL OF GEORGE SAHD TRUSTEES SAHD, ROBERT & MARY CO-TRUSTEES	10112 SAN BERNARDINO ALBUQUERQUE NM 87122
86777	NM TRINET LLC	12526 HIGH BLUFF DRIVE SUITE 355

		SAN DIEGO CA 92130
35115	SWENGEL, STANLEY KENNEDY	1523 PASEO DEL PUEBLO SUR UNIT B TAOS NM 87571
23146	BISHOP, ROBERT L & KORMAN, BONITA S	PO BOX 80 TAOS NM 87571
23336	SJ HOSPITALITY INC	7791 WAYSIDE AVE DELAWARE OH 43015
87906	JP TAOS LLC	31 N TEJON STREET STE 400 COLORADO SPRINGS CO 80903
19493	SMI ABQ RE LLC	16801 GREENSPPOINT PARK DR SUITE376 HOUSTON TX 77060
19562	SISNEROS, JOE	PO BOX 96 RANCHOS DE TAOS NM 87557
21796	VIGIL, MONICA SALAZAR	PO BOX 2368 RANCHOS DE TAOS NM 87557
21929	VIGIL, CATHY M REVOCABLE TRUST	PO BOX 1387 RANCHOS DE TAOS NM 87557



TOWN OF TAOS E-911 Addressing Application



SECTION I

Property Code Number: 1073146118142 Owner Number: 22024
 APPLICANT NAME: DOUGLAS PATTERSON Phone Number: 575-770-6522
 MAILING ADDRESS: 122 A OMAHUR Alt. Phone #: 575-770-6522
TAOS NM 87571 Email Address: dpaterson@log-arcvt.com
 City, State, Zip

SECTION II - Only Complete if Owner is different from Applicant

PROPERTY OWNER: EOELMAN FAMILY REVOCABLE TRUST Phone Number: 575-741-0025
 MAILING ADDRESS: PO MAX EOELMAN Alt. Phone #: 575-741-0025
PO BOX 455 ARROYO SECO NM 87514 Email Address: MAX.EOELMAN@GMAIL.COM
 City, State, Zip

CERTIFICATION

I hereby certify that I have read and examined the information contained on this application, and know the same to be true and correct. All the requirements of the Town of Taos Addressing Ordinance will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any federal, state, or local law regulating the access or addressing for any Town or State Roads.

I also acknowledge that the Town of Taos GIS Division is authorized and directed to enforce the provisions of any federal, state, and/or local codes, and shall have the authority to render interpretations of these codes and to apply policies and procedures in order to clarify the application of its provisions. Such interpretations, policies, and procedures shall be in compliance with the intent and purpose of any federal, state, and/or local codes. Such policies and procedures shall not have the effect of waiving requirements specifically provided for in the Addressing Ordinance or Access Management Manual.

THE FILING OF THIS APPLICATION SHALL NOT IMPLY OR DEEM APPROVAL OF SAID APPLICATION.

PRINT NAME OF APPLICANT: DOUGLAS PATTERSON
 SIGNATURE OF APPLICANT: [Signature]
 DATE: 1-27-22

OFFICE USE ONLY

<u>1526</u> Number	<u>Paseo del Pueblo Sur</u> Road Name	<u> </u> Unit Type	<u> </u> Unit
<input type="checkbox"/> New Address	<input checked="" type="checkbox"/> Address Verification		
<u>[Signature]</u> Signature		<u>1/28/2022</u> Date	

EDELMAN PUD

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY FOR COMPLETION AS INDICATED ON THESE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- ALL DIMENSIONS, SPECIFICATIONS AND NOTES PROVIDED HEREIN SHALL BE VERIFIED BY EACH SUBCONTRACTOR PRIOR TO PERFORMANCE OF THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- WHEN TWO OR MORE REQUIREMENTS OR STANDARDS ARE SPECIFIED ESTABLISHING DIFFERENT OR CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT REQUIREMENT IS INTENDED AND WILL BE ENFORCED. CONTRACTOR SHALL MAKE NO CHANGES OR SUBSTITUTIONS WITHOUT WRITTEN APPROVAL BY ADDENDUM FROM THE OWNER/ARCHITECT.
- CONTRACTOR SHALL MEET WITH THE BUILDING OWNER OR MANAGER PRIOR TO THE BID IN ORDER TO OBTAIN A COPY OF THE BUILDING STANDARD GUIDELINES AND TO DISCUSS THE BUILDING MANAGEMENTS REQUIREMENTS FOR PROTECTION OF PUBLIC SPACES, DAILY CLEANING, CONSTRUCTION, STAGING, MATERIAL, DELIVERIES, LOCATION OF CONSTRUCTION DUMPSTERS, PARKING, ETC. THE COST TO MEET THESE REQUIREMENTS SHALL BE INCLUDED IN BID.
- REPLIES TO ALL REQUESTS FOR CLARIFICATION WILL BE ISSUED TO ALL PRIME BIDDERS, AS ADDENDA TO THE DRAWINGS AND SPECIFICATIONS, AND WILL BECOME PART OF THE CONTRACT. THE ARCHITECT AND OWNER WILL NOT BE RESPONSIBLE FOR ORAL CLARIFICATION.
- ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER FOR REVIEW PRIOR TO COMMENCING WORK.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE AND OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE CONSTRUCTION OF THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL INCLUDE IN THE BASE BID ALL FEES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO PERMIT FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY COORDINATING ALL ASPECTS OF THE CONSTRUCTION INCLUDING CROSS REFERENCING ALL OBVIOUSLY RELATED DOCUMENTS AND DRAWINGS. SHOULD PROBLEMS ARISE OUT OF A LACK OF COORDINATION IN AREAS THAT COULD HAVE REASONABLY BEEN FORESEEN, NO ADDITIONAL PAYMENT SHALL BE WARRANTED OR APPROVED BY THE OWNER OR THE ARCHITECT. SHOULD THE SERVICES OF THE ARCHITECT AND/OR ARCHITECT'S CONSULTANTS BE REQUIRED TO REMEDY OR REVISE THE CONSTRUCTION DUE TO ERRORS AND/OR OMISSIONS BY SUBCONTRACTOR, COMPENSATION FOR THESE SERVICES SHALL BE MADE BY THE GENERAL CONTRACTOR THROUGH THE CHANGE ORDER PROCESS OR BY SEPARATE AGREEMENT WITH THE ARCHITECT AND/OR ARCHITECT'S CONSULTANTS.
- ALL WORK DETAILED IN THESE CONSTRUCTION DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL SUBCONTRACT AND/OR ASSIGN PORTIONS OF THE WORK TO THE MOST QUALIFIED TRADE. FAILURE BY ANY SUBCONTRACTOR TO INCLUDE CERTAIN WORK REQUIRED SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF ITS RESPONSIBILITY AS PART OF THE CONTRACT FOR CONSTRUCTION TO PROVIDE A COMPLETE JOB.
- CONTRACTOR IS TO COORDINATE AND ORGANIZE THE CONSTRUCTION PROCESS AND COMPLETE SAME IN A MANNER WHICH LEAST IMPACTS THE OWNER. SEE PROJECT MANUAL DIVISION 01, SECTION 1000.17 - "COORDINATION WITH OCCUPANTS."
- A "PUNCH LIST" SHALL BE PREPARED BY THE CONTRACTOR LISTING ALL ITEMS WHICH NEED TO BE COMPLETED, MODIFIED, CORRECTED OR REPLACED AND SUBMITTED TO ARCHITECT/OWNER. THE ARCHITECT SHALL THEN VISIT THE SITE TO REVIEW AND, IF THE LIST IS NOT REASONABLY COMPLETE, SHALL DIRECT THE CONTRACTOR TO COMPLETE THE LIST. THE FINAL PUNCH LIST SUBMITTED BY THE CONTRACTOR SHALL BE REVIEWED AND SUPPLEMENTED BY THE ARCHITECT/OWNER.
- SUBCONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL GUARANTIES, WARRANTIES AND TWO COPIES OF ALL MANUALS AND OPERATING INSTRUCTIONS AND ARRANGE TO GIVE PHYSICAL DEMONSTRATION OF ALL EQUIPMENT TO OWNER OR HIS REPRESENTATIVE.
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION, EXCEPT LONGER AS REQUIRED IN THE DRAWINGS AND/OR SPECIFICATIONS.
- ALL NEW CONSTRUCTION MUST MEET FEDERAL AND STATE BARRIER FREE REQUIREMENTS.
- MATERIAL OR SYSTEMS SHALL BE INSTALLED ACCORDING TO EXACT MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL MATERIALS USED DURING CONSTRUCTION SHALL BE NEW AND FREE FROM BLEMISHES. NO USED MATERIALS WILL BE ALLOWED, EXCEPT AS NOTED HEREIN. COORDINATE WITH ARCHITECT AND OWNER/REPRESENTATIVE IN ADVANCE.
- DELIVERY AND STORAGE OF ALL MATERIAL SHALL BE ACCEPTABLE TO MANUFACTURER'S PRODUCT. REVIEW BY THE ARCHITECT AND SHALL PROVIDE COMPLETE PROTECTION OF PRODUCT.
- GENERAL CONTRACTOR SHALL VERIFY FINAL SELECTION OF ALL FINISHES WITH ARCHITECT AND OWNER. SUBMIT SAMPLES FOR REVIEW.
- FIRE EXTINGUISHERS SHALL BE PROVIDED BY GENERAL CONTRACTOR AND LOCATED AS REQUIRED BY CODE DURING CONSTRUCTION.
- CONCRETE SLABS SHALL BE LEVELED AND PREPARED TO RECEIVE FLOOR FINISH PER FINISH SCHEDULE.
- WHEREVER DISSIMILAR METALS CONTACT EACH OTHER, AND ARE SEPARATED FURTHER ON THE BELOW SCALE THAN BY A SINGLE INTERMEDIATE METAL, THE CONTACTING SURFACES SHALL BE INSULATED FROM EACH OTHER BY A BITUMINOUS COATING. 15# ASPHALT SATURATED FELT OR OTHER ARCHITECT APPROVED MEANS. METALS ARRANGED IN ORDER OF GALVANIC ACTIVITY: ALUMINUM, ZINC, GALVANIZED IRON, TIN ON STEEL, LEAD (HARD), STAINLESS STEEL, COPPER, MONEL.
- GENERAL CONTRACTOR SHALL COORDINATE AND INSTALL ALL NECESSARY BACKING SUPPORTS FOR CABINETS, SHELVING, TOILET ACCESSORIES, PLUMBING/LIGHTING FIXTURES, ETC.
- ALL GYPSUM BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES GYPSUM "GYPSUM CONSTRUCTION HANDBOOK".
- ALL GYPSUM BOARD SHALL RECEIVE A PAINT FINISH. NOTE FINISHED CONCRETE SLAB IS CALLED FOR THROUGHOUT.
- CONTRACTOR WITH APPROPRIATE SUBCONTRACTORS SHALL COORDINATE THE LOCATION OF OUTLETS, SWITCHES, THERMOSTATS, ETC. WITH THE FURNITURE LAYOUT AND WITH CONSIDERATION GIVEN TO THE PLACEMENT OF ART, PICTURES, PLAQUES, ETC. THIS SHALL BE REVIEWED WITH THE ARCHITECT AND TENANT PRIOR TO WORK.
- PRIOR TO FINAL COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES.
- PRIOR TO FINAL COMPLETION, CONTRACTOR TO ASSEMBLE AND DISTRIBUTE PUNCHLIST OF ITEMS TO COMPLETE. LIST SHALL BE REVIEWED AT CONTRACTOR'S SCHEDULED WALKTHROUGH WITH OWNER AND ARCHITECT. LIST SHALL BE REVISED AS REQUIRED TO COMPLETE WORK.

VICINITY MAP



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PERSPECTIVE



PROJECT TEAM

OWNER:
EDELMAN FAMILY REVOCABLE
PO BOX 455
ARROYO SECO, NM 87514
T: 575-741-0025

ARCHITECT:
LIVING DESIGNS GROUP ARCHITECTS
122 A DONA LUZ STREET
TAOS, NM 87571
CONTACT: DOUGLAS PATTERSON, AIA
T: 575-770-6562

CIVIL ENGINEER:
ABEYTA ENGINEERING, INC.
209 CAMINO DE LA MERCED
TAOS, NM 87571
CONTACT: ALEX ABEYTA
T: 575.737.0377

ABBREVIATIONS

@	AT	EXT.	EXTERIOR	OH	OVERHEAD
&	AND	FD	FLOOR DRAIN	OPNG	OPENING
AB	ANCHOR BOLT	FDN	FOUNDATION	OPP	OPPOSITE
ACCUS(T)	ACOUSTIC	FEC	FIRE EXTINGUISHER CABINET	PATT	PATTERN
ACP	ASPHALT CONCRETE PAVING	FIN	FINISHED	PERF	PERFORATED
ACT	ACOUSTIC CEILING TILE	FF	FINISH FLOOR	PERM	PERMANENT
ADD	ADDITIVE	FEX	FIRE EXTINGUISHER	PLAM	PLASTIC LAMINATE
ADJ	ADJACENT ADJUSTABLE	FH	FIRE HYDRANT	PLBG	PLUMBING
A/E	ARCHITECT/ENGINEER	FLR	FLOOR	PN (PT)	PAINT
A.F.F.	ABOVE FINISH FLOOR	FLG	FLOORING	PR	PAIR
ALUM	ALUMINUM	FPA	FALL PROTECTION ANCHOR	PTD	PAINTED
ANCH	ANCHOR	FRP	FIBERGLASS REINFORCED PLASTER	PJ	PANEL JOINT
ANOD	ANODIZED	# F.T.	NUMBER OF FULL TILES	PTN	PARTITION
APPROX	APPROXIMATE	FURN	FURNISH	PVC	POLY(VINYL CHLORIDE)
AVG	AVERAGE	FUT	FUTURE	PVMT	PAVEMENT
BD	BOARD	GA	GAUGE	PLYWD	PLYWOOD
BLDG	BUILDING	GALV.	GALVANIZED	P.T.	PRESSURE TREATED
BLKG	BLOCKING	GEN	GENERATORY GENERAL	RA	RETURN AIR
BOT	BOTTOM	GL	GLASS	RB	RESILIENT BASE
BRG	BEARING	GWB	GYPSUM WALLBOARD	RD	ROOF DRAIN
BTF	BEAT TO FIT	GYP	GYPSUM	REF	REFERENCE / REFER
BYND	BEYOND	H	HORIZONTAL	REIN	REINFORCE(D)
BW	BOTH WAYS	HB	HOSE BIB	REQD	REQUIRED
B.O.	BOTTOM OF	HCP	HANDICAPPED	RJ	REVEAL JOINT
CB	CATCH BASIN	HDWR	HARDWARE	REV	REVISE, REVISION, REVERSE
CCF	CONCRETE FLOOR	HD	HIGH INTENSITY DISCHARGE	RL	ROOF LEADER
CCP	CEMENT CONCRETE PAVING	HGT	HEIGHT, HIGH	RM	ROOM
CD	CEILING DIFFUSER	HM	HOLLOW METAL	RO	ROUGH OPENING
CEM	CEMENT	HORIZ	HORIZONTAL	RR	RESTROOM
CFCI	CONTRACTOR FURNISHED & INSTALLED	HW	HOT WATER	S	SOUTH
CHAM	CHAMFER	ID	INSIDE DIAMETER	SA	SUPPLY AIR
CIP	CAST-IN-PLACE / CAST IRON PIPE	INCL	INCLUDE(D)	SAN	SANITARY
CJ	CONTROL JOINT	INSUL	INSULATION	SCHED	SCHEDULE, SCHEDULED
CLG	CEILING	INT	INTERIOR	SECT	SECTION
CLKG	CAULKING	INV	INVERT	SF	SQUARE FOOT
CMU	CONCRETE MASONRY UNIT	JAN	JANITOR	SNG	SINGLE
COL	COLUMN	JB	JUNCTION BOX	SHVL	SHELVING
COM	COMMON	JST	JOIST	SIM	SIMILAR
CONC	CONCRETE	JO	JOINT	S.I.P.	STRUCTURAL INSULATED PANEL
CONT	CONTINUOUS	LAM	LAMINATE	SPEC.	SPECIFICATION; SEE PROJECT MANUAL
CONTR	CONTRACTOR	LAV	LAVATORY	SP	STAND PIPE
CONST.	CONSTRUCTION	LF	LIGHT FIXTURE	SQ	SQUARE
CPT	CARPET	LINEAR	LINEAR	SS	STAINLESS STEEL
CT	CERAMIC TILE	MACH	MACHINE	STD	STANDARD
CTR	CENTER	MAS	MASONRY	STRUCT.	STRUCTURAL; SEE STRUCTURAL
OW	COLD WATER	MATL	MATERIAL	SURF	SURFACE
DBL	DOUBLE	MAX	MAXIMUM	SUSP	SUSPENDED
DET	DETAIL	MECH	MECHANICAL	TA	TACK BOARD
DIA.	DIAMETER	MEM	MEMBRANE	TELE	TELEPHONE ENCLOSURE
DIAG.	DIAGONAL	MFR	MANUFACTURER	TEMP	TEMPORARY
DIM	DIMENSION	MH	MANHOLE	THRU	THROUGH
DN	DOWN	MIN	MINIMUM	TOC	TOP OF CONCRETE/CURB
DS	DOWNSPOUT	MISC	MISCELLANEOUS	T&G	TONGUE AND GROOVE
DWG	DRAWING	MO	MASONRY OPENING	TO	TOP OF
E	EXISTING	MOD BIT	MODIFIED BITUMEN	TYP.	TYPICAL
(E)	EXISTING	MON	MONOLITH	U.N.O.	UNLESS NOTED OTHERWISE
EA	EACH EXHAUST AIR	MTL	METAL	V	VERTICAL
EF	EACH FACE EXHAUST FAN	N	NORTH	V.F.	VERIFY IN FIELD
EJ	EXPANSION JOINT	(N)	NEW	VB	VAPOR BARRIER
EL / ELEV.	ELEVATION	NAT	NATURAL	VEH	VEHICLE
ELEC	ELECTRICAL/ELECTRIC	NOT TO SCALE	NOT TO SCALE	VERT	VERTICAL
ENG	ENGINEER	N.I.C.	NOT IN CONTRACT	VOL	VOLUME
EO	ELECTRICAL OUTLET	NA	NOT APPLICABLE	VT	VINYL TILE
EQ.	EQUAL	O.C.	ON CENTER	W	WITH
EST	ESTIMATED	OSB	ORIENTED STRAND BOARD	WC	WATER CLOSET
EW	EACH WAY	OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED	WD	WOOD
EXP	EXPANSION / EXPOSED	OFOI	OWNER FURNISHED/ OWNER INSTALLED	YH	YARD HYDRANT

PROJ. NO:

2021-970

ISSUE DATE:

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ISSUED FOR:

REVIEW

REVISIONS:

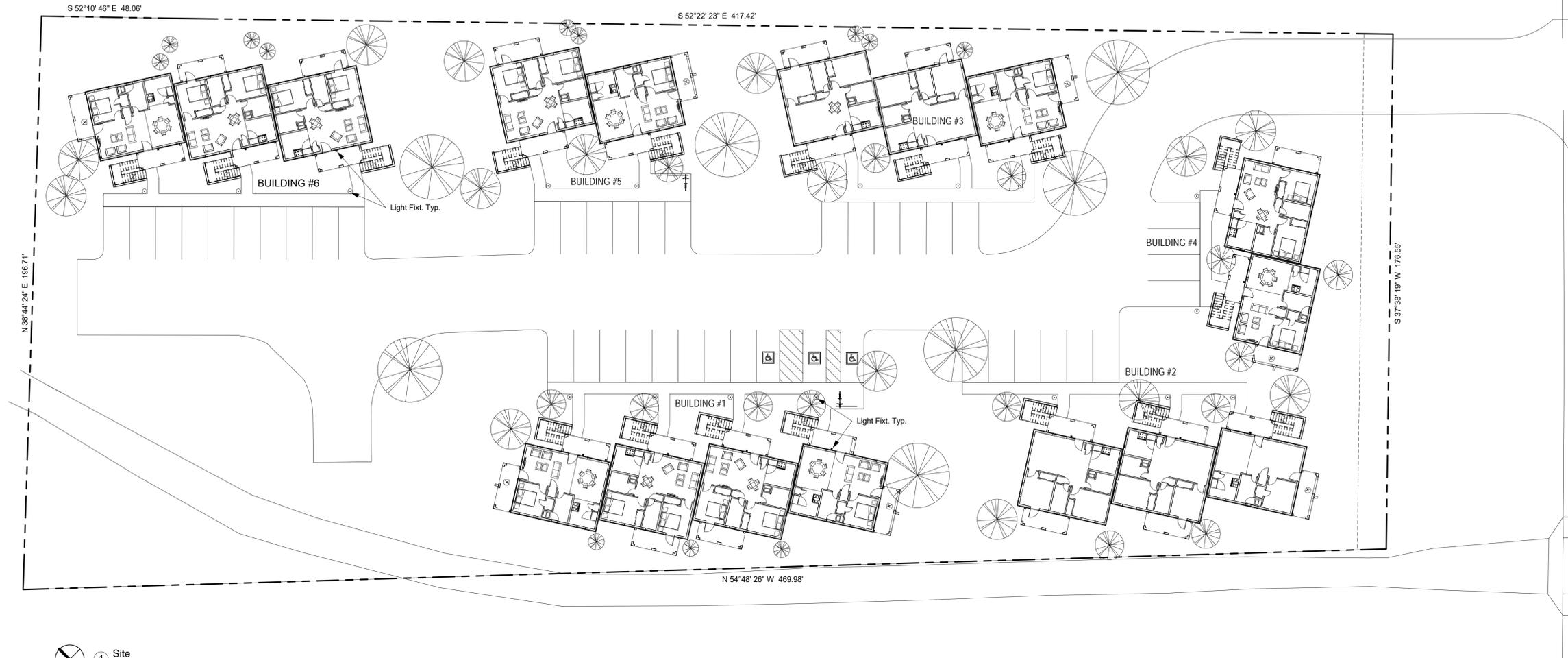
NO Date Description

DRAFTED BY: Author
APPROVED BY: Checker

SCALE: 1/8" = 1'-0"

COVER SHEET

G100



① Site
1" = 20'-0"

APARTMENT LEGEND

- BUILDING #1**
4 - 1 BEDROOM UNITS
4 - 2 BEDROOM UNITS
- BUILDING #2**
2 - 1 BEDROOM UNITS
4 - 2 BEDROOM UNITS
- BUILDING #3**
2 - 1 BEDROOM UNITS
4 - 2 BEDROOM UNITS
- BUILDING #4**
2 - 1 BEDROOM UNITS
2 - 2 BEDROOM UNITS
- BUILDING #5**
2 - 1 BEDROOM UNITS
2 - 2 BEDROOM UNITS
- BUILDING #6**
2 - 1 BEDROOM UNITS
4 - 2 BEDROOM UNITS
- TOTAL 1 BEDROOM UNITS = 14**
TOTAL 2 BEDROOM UNITS = 20
TOTAL APARTMENTS = 34

BUILDING SQUARE FOOTAGE

- BUILDING #1 = 6,364 S.F.**
- BUILDING #2 = 4,882 S.F.**
- BUILDING #3 = 4,882 S.F.**
- BUILDING #4 = 3,182 S.F.**
- BUILDING #5 = 3,182 S.F.**
- BUILDING #6 = 4,882 S.F.**
- TOTAL SQUARE FOOTAGE = 27,374 S.F.**

STATE ROAD 68

PROJ. NO:
2021-970

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REVISIONS:
NO | Date | Description

DRAFTED BY: Author
APPROVED BY: Checker

SCALE: As indicated

SITE PLAN

AS101



1 Site Zoning Data Plan
1" = 20'-0"

16.16.130.4: CONDITIONAL USES:
The following uses shall be permitted in the C-1 zone only if a conditional use permit is granted:
Multi-family residence, such as a triplex, townhouse, condominium or apartment.

16.16.160: HCPD HIGHWAY CORRIDOR PROTECTION DISTRICT:

16.16.160.4: CONDITIONAL USES:
The following uses shall be permitted in the HCPD zone only if a conditional use permit is granted:
Any use specifically listed as a conditional use in the C-1, C-2, or CBD zones, excluding guesthouses and go-carts/carnival/thrill rides. (Ord. 03-07, 2003; Ord. 99-05, 1999)

16.16.160.5: DEVELOPMENT STANDARDS:
The following development standards shall apply to all property in the HCPD zone:
A. Minimum Lot Size: Seven thousand (7,000) square feet;
B. Minimum Lot Width: Seventy feet (70');
C. Minimum Setback Requirements:
1. Front Yard: Ten feet (10') from the front property line landscaped in accordance with the provisions of the landscaping ordinance;
2. Side Yards: Zero feet (0');
3. Rear Yard: Zero feet (0');
D. Maximum Lot Coverage: Sixty percent (60%) by all structures;

PARKING CALCULATIONS

14 - 1 BEDROOM UNITS X 1.1/UNIT = 16 SPACES REQUIRED
20 - 2 BEDROOM UNITS X 1.5/UNIT = 30 SPACES REQUIRED
TOTAL SPACES REQUIRED = 36
TOTAL SPACE PROVIDED = 43
ADA SPACES REQUIRED = 3, 2 REGULAR, 1 VAN

ZONING AREA CALCULATIONS

TOTAL LOT AREA = 2.002 ACRES = 87,207 S.F.
BUILDING FOOTPRINT = 18,380 S.F. = 21%
PAVING AREA = 24,069 S.F. = 28%
OPEN AREA = 31%
14 UNITS/ACRE = 28 UNITS ALLOWABLE
30% INCREASE = 36.4 UNITS ALLOWABLE
34 UNITS PROVIDED

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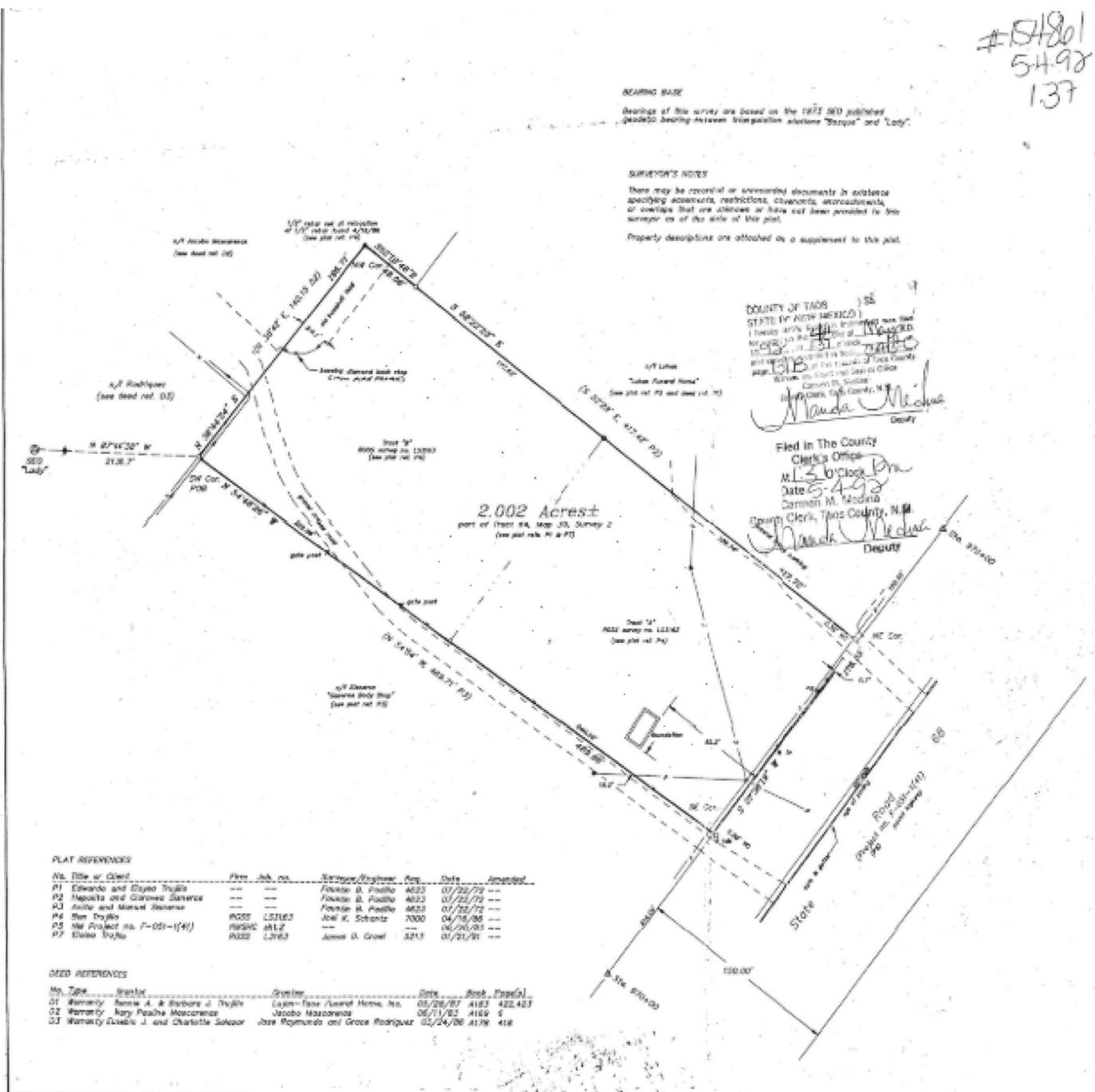
REVISIONS:	
NO	Description

DRAFTED BY: Author
APPROVED BY: Checker

SCALE: As indicated

ZONING DATA PLAN

#154801
54.98
137



PLAT REFERENCES

No.	Title or Client	Firm Job. no.	Surveyor/Engineer	Reg.	Date	Acres
P1	Eduardo and Eloisa Trujillo	---	Fouquier B. Padilla	4623	07/22/72	---
P2	Mepolito and Gloriosa Sanchez	---	Fouquier B. Padilla	4623	07/22/72	---
P3	Andrés and Marcela Valencia	---	Fouquier B. Padilla	4623	07/22/72	---
P4	San Trujillo	R025	LS1163	---	04/15/88	---
P5	NA Project no. F-051-141	R025C	4412	---	06/26/83	---
P7	Eloisa Trujillo	R022	L2963	James D. Grief	3213	07/21/91

DEED REFERENCES

No.	Type	Book	Page	Date	Acres
01	Warranty	Book A. B. Roberts & Trujillo	---	05/28/87	4187 422,423
02	Warranty	Mary Pealhe Macconera	Jacobo Macconera	06/11/82	4169 5
03	Warranty	Eduardo J. and Charlotte Salazar	José Rogemundo and Grace Rodriguez	02/24/86	4178 418

① SURVEY
1" = 50'-0"

Rio Grande Surveying Service
Box 6381, Taos, New Mexico
(505) 759-2907

Within projected Section 30,
Township 25 North, Range 13 East, NMPM
And the Cristobal de la Sierra Grant

LEGEND

- 1/2 in. rebar set
- 1/2 in. rebar found
- 1/2 in. rebar set previously
- point set
- 1973 SED brass cap mark
- 1982C 1/4" nail mark
- telephone disc box
- natural gas meter
- tv amp box
- utility pole
- back wire fence
- overhead power line
- irrigation ditch
- existing road
- prior survey line
- tree or formerly owned by
- witness corner
- Truist and Place of Beginning
- 24 survey line

SPECIAL CERTIFICATE

To: First Mr. Tito & Abneriel G. Inc. and Eloisa Trujillo

This is to certify that this map or plat and the survey upon which it is based were made in accordance with Standard Standard Detail Requirements for ALTA/ACSM Land Title Surveys, fully established and adopted by ALTA and ACSM in 1988, and meets the necessary requirements of a Class C Survey as defined therein; and also conforms to the minimum requirements of the Standards for Land Surveys as required by the State Board of Geographical and Professional Engineers and Land Surveyors.

[Signature]
James D. Grief, M.L.S., S.L.S.

ALTA/ACSM Land Title Survey

Eloisa Trujillo To Doug Terry

Location: South of Taos, Taos County, New Mexico
Scale: 1" = 50' Date: 02/24/2022 Job no.: L2163A

PROJ. NO:
2021-970

ISSUE DATE:
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SCALE: 1" = 50'-0"

SURVEY

AS103

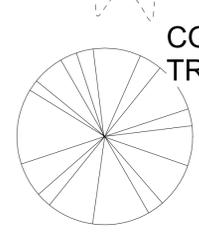


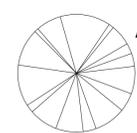
① Landscape Plan
1" = 20'-0"

 NATIVE GRASSES

 WOOD MULCH/
GROUND
COVER

 SWALE

 COTTONWOOD
TREE

 ASPEN TREES

 BUNCH GRASS

 DIRECTION OF
DRAINAGE FLOW

○ LANDSCAPE LEGEND
1/8" = 1'-0"

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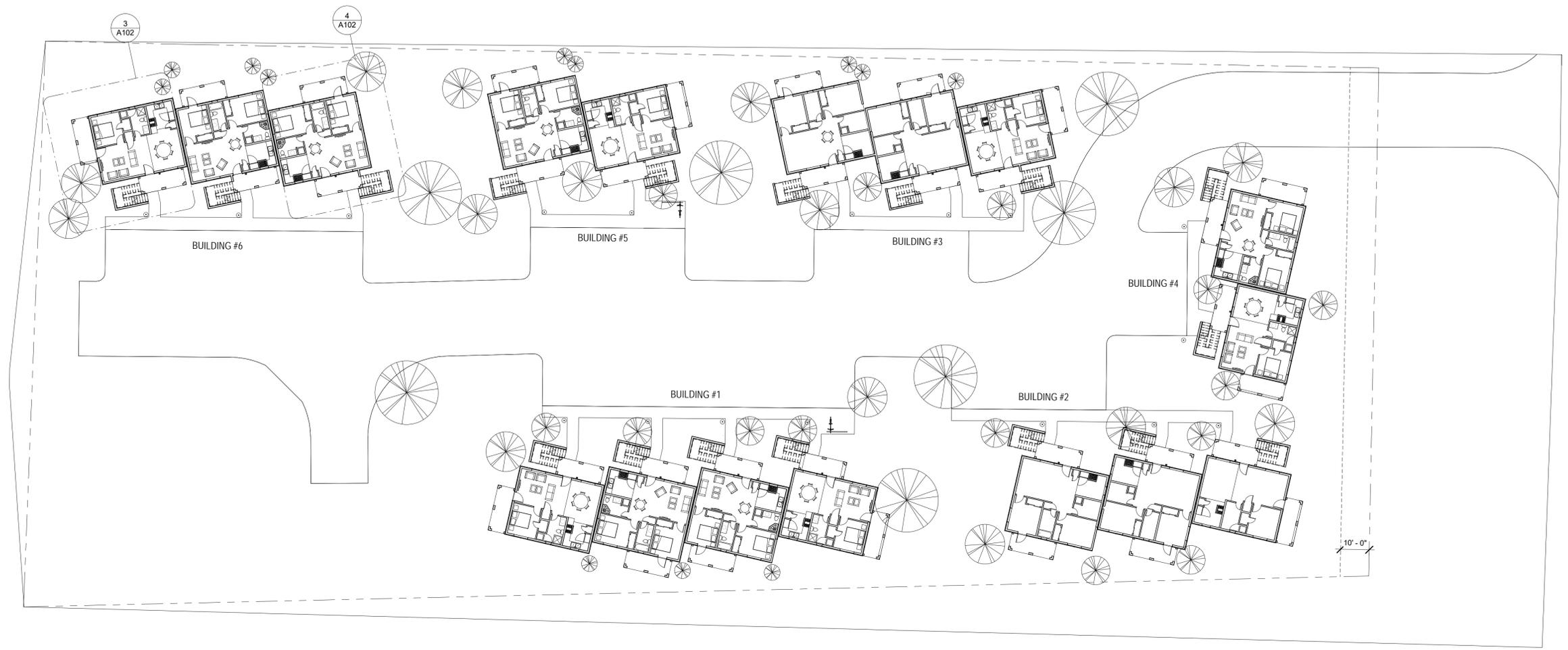
NO	Date	Description

DRAFTED BY: Author
APPROVED BY: Checker

SCALE: As indicated

**LANDSCAPE
PLAN**

AS104



① OVERALL FIRST FLOOR PLAN
1" = 20'-0"

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2021-970

ISSUE DATE:
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ISSUED FOR:
REVIEW

REVISIONS:

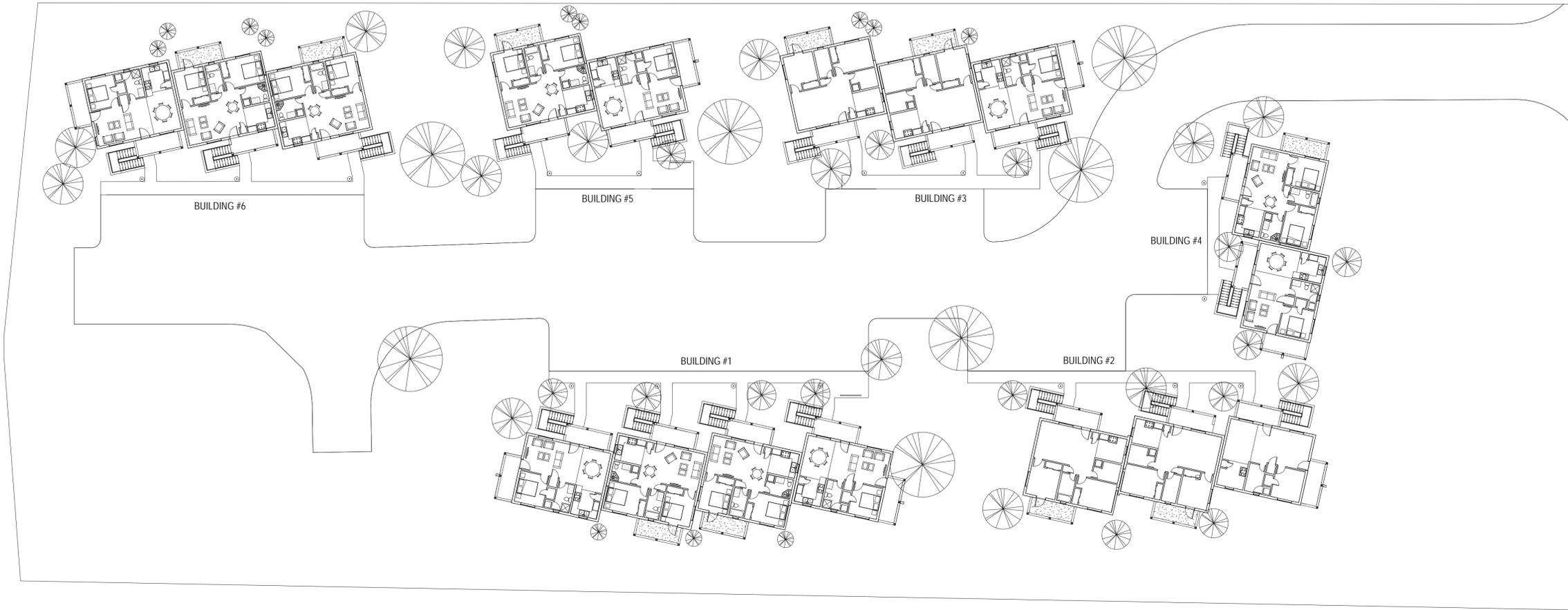
NO	Date	Description

DRAFTED BY: Author
APPROVED BY: Checker

SCALE: 1" = 20'-0"

**FIRST FLOOR
OVERALL
PLAN**

A100



① OVERALL SECOND FLOOR PLAN
1" = 20'-0"

PROJ. NO:
2021-970

ISSUE DATE:
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ISSUED FOR:
REVIEW

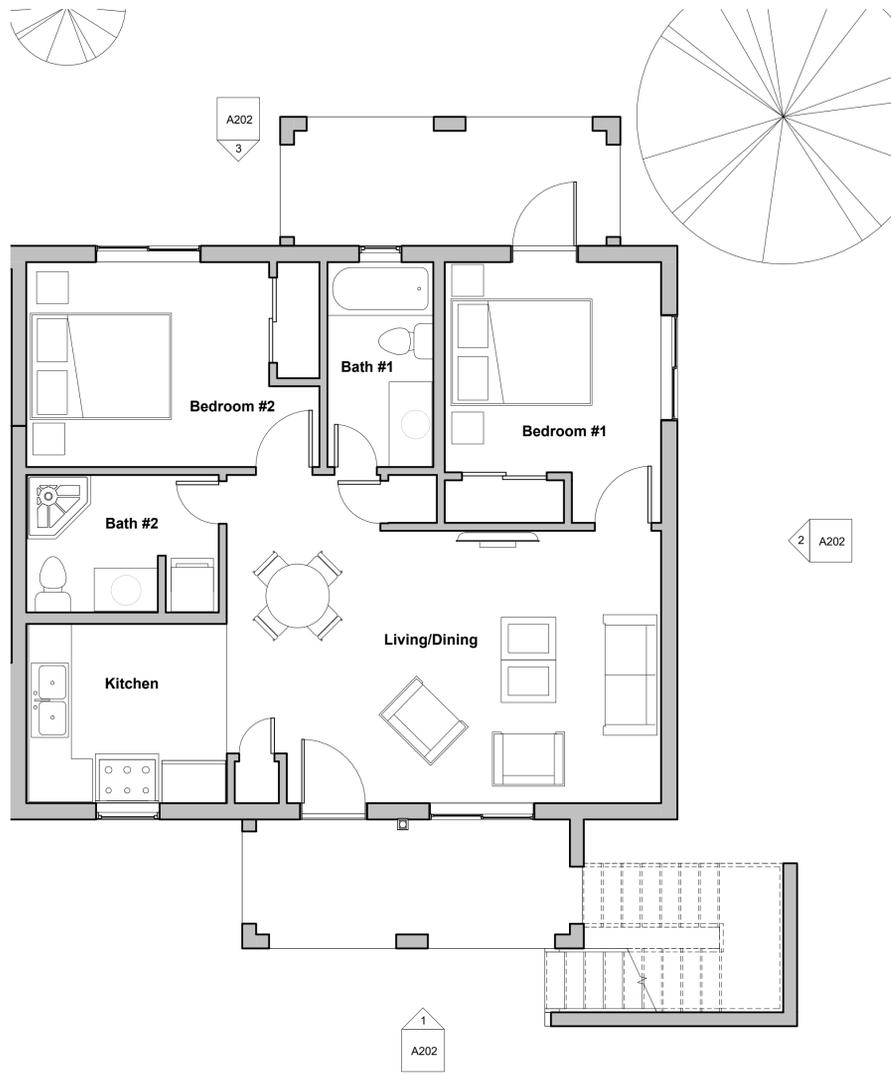
REVISIONS:		
NO	Date	Description

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APPROVED BY: Checker

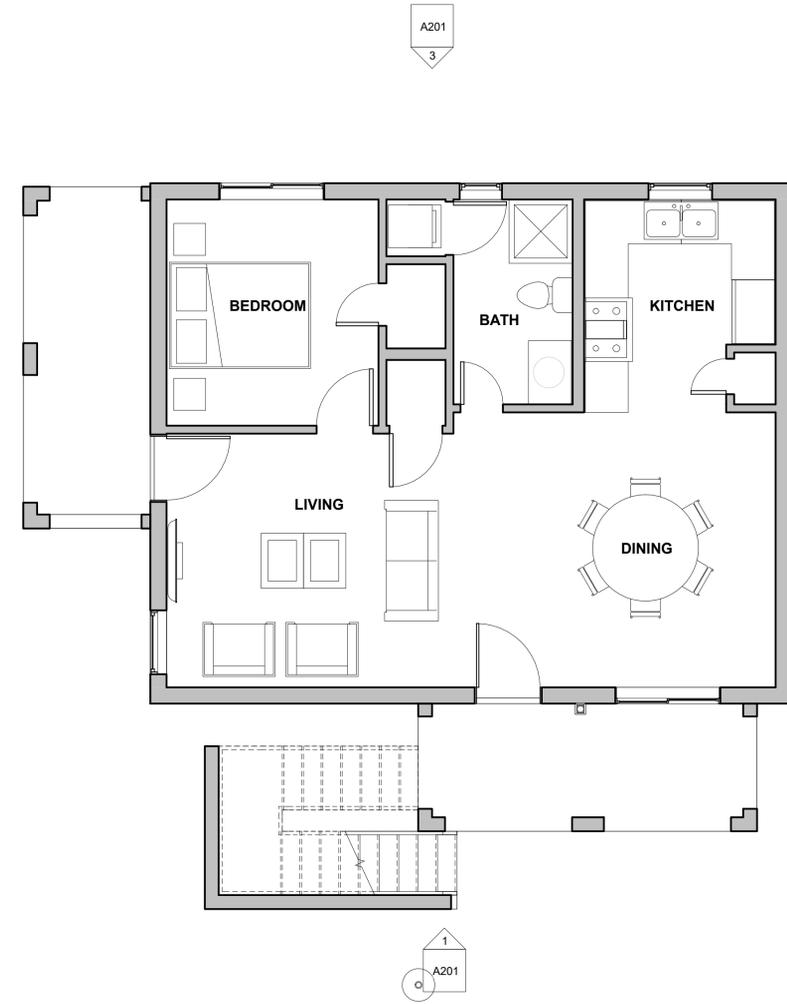
SCALE: 1" = 20'-0"

**SECOND
FLOOR
OVERALL
PLAN**

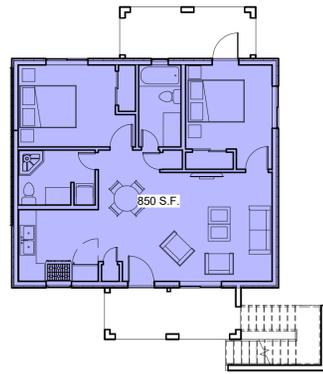
A101



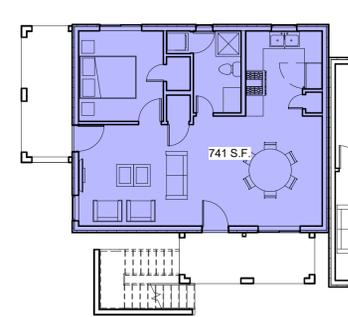
4 ENLARGED FIRST FLOOR 2BR PLAN
1/4" = 1'-0"



3 ENLARGED FIRST FLOOR 1BR PLAN
1/4" = 1'-0"



2 2 BEDROOM FLOOR PLAN AREA
1" = 10'-0"



1 1 BEDROOM FLOOR PLAN AREA
1" = 10'-0"

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APPROVED BY: Checker

SCALE: As indicated

ENLARGED
FLOOR
PLANS

A102



③ Elevation 2 - a
1/16" = 1'-0"



② Elevation 1 - c
1/16" = 1'-0"



① Elevation 1 - a
1/16" = 1'-0"

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ISSUED FOR:
REVIEW

REVISIONS:

NO	Date	Description

DRAFTED BY: Author
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SCALE: 1/16" = 1'-0"

**BUILDING
ELEVATIONS**

A200



③ 1BR BACK
1/4" = 1'-0"



② 1BR SIDE
1/4" = 1'-0"



① 1BR FRONT
1/4" = 1'-0"

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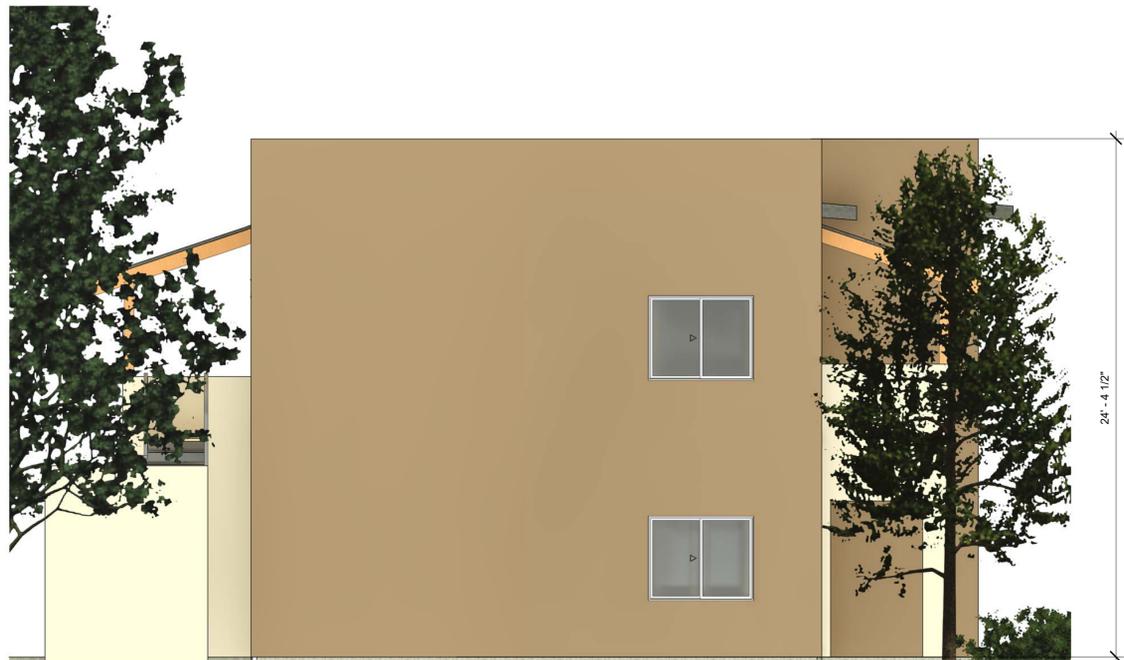
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APPROVED BY: Checker

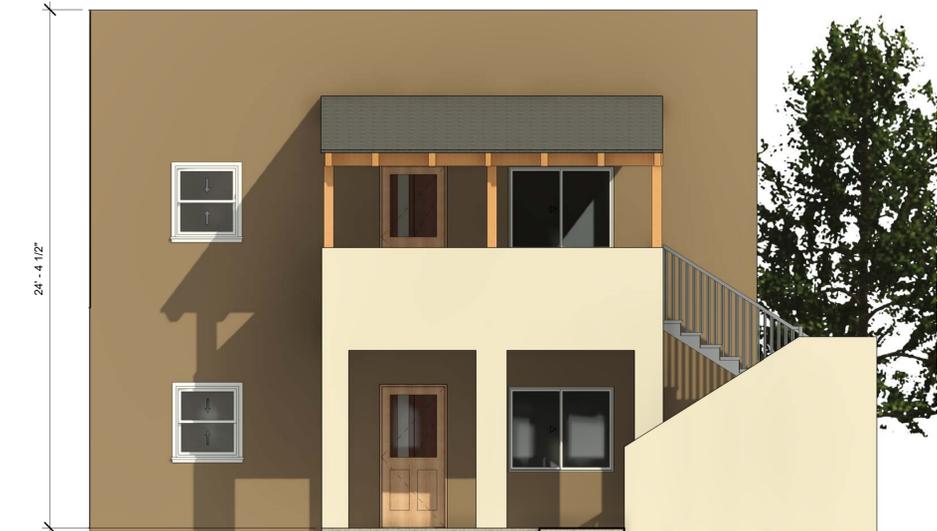
SCALE: 1/4" = 1'-0"

ENLARGED
1BR
ELEVATIONS

A201



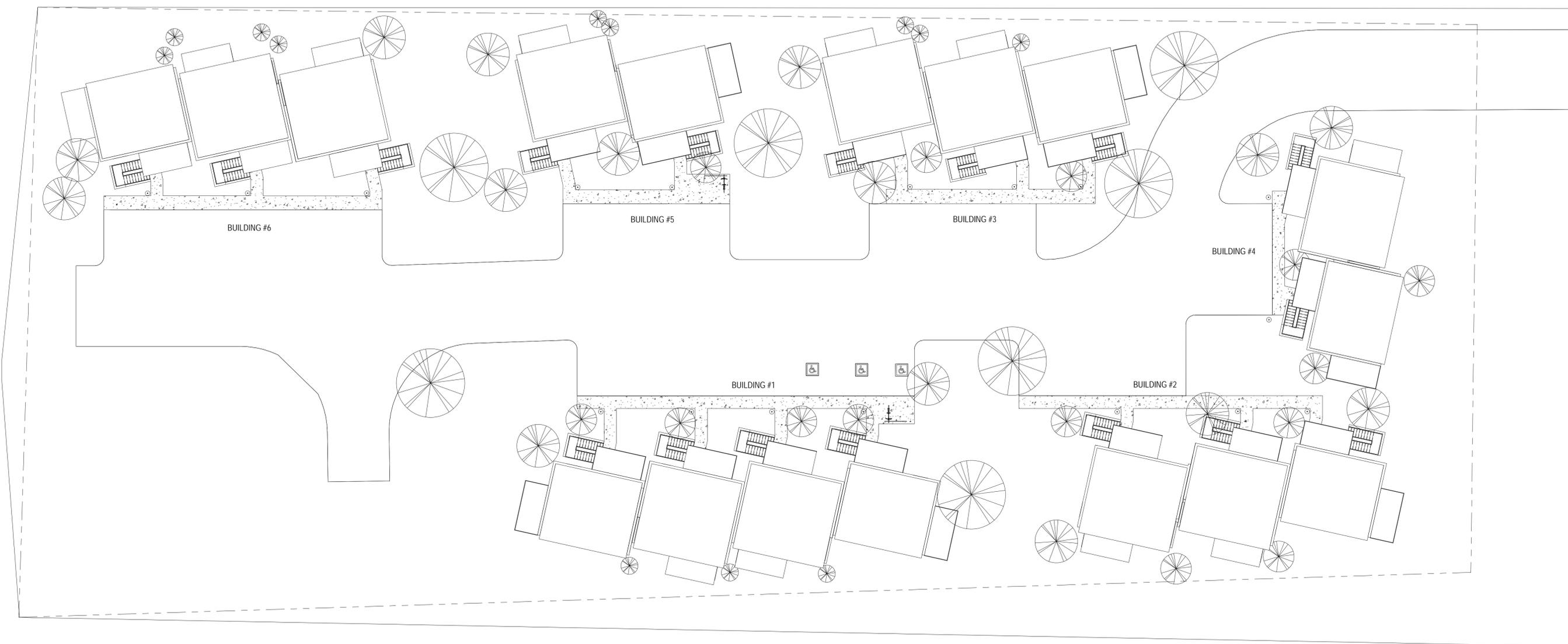
② 2BR SIDE ELEVATION
1/4" = 1'-0"



① 2BR FRONT ELEVATION
1/4" = 1'-0"



③ 2BR BACK ELEVATION
1/4" = 1'-0"



ROOF PLAN
 1/16" = 1'-0"

PROJ. NO:
 2021-970
 ISSUE DATE:
 04.18.2022
 ISSUED FOR:
 REVIEW

REVISIONS:

NO	Date	Description

DRAFTED BY: Author
 APPROVED BY: Checker

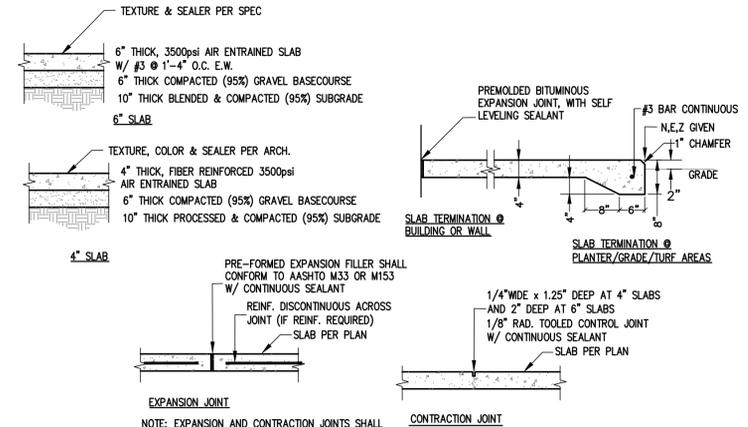
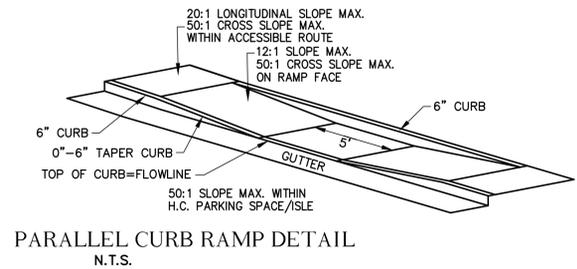
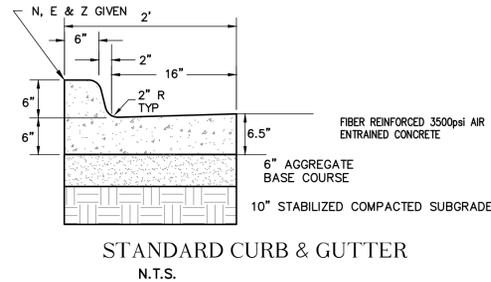
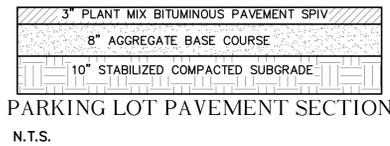
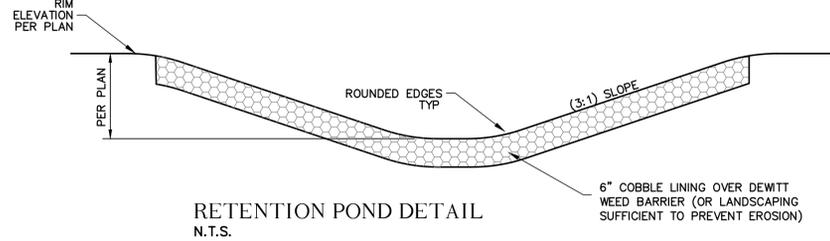
SCALE: 1/16" = 1'-0"

ROOF PLAN

A400

GENERAL NOTES

1. ALL SITE & UTILITY WORK SHALL CONFORM WITH THE "NM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2006 EDITION", AND ALL SUBSEQUENT AMENDMENTS AND PROVISIONS UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE TOWN PLANNING DEPARTMENT OF THE PROPOSED COMMENCEMENT OF CONSTRUCTION AND PROPOSED WORK SCHEDULE AT LEAST 24 HOURS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION. A COPY OF THE APPROVED PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES DURING WORKING HOURS.
3. THE OWNER SHALL BE RESPONSIBLE, THROUGH HIS ENGINEER, FOR MAKING ALL ENGINEERING PLAN CHANGES AND REVISIONS TO THE ORIGINAL APPROVED ENGINEERING DRAWINGS. ALL CHANGES SHALL BE APPROVED BY THE TOWN PRIOR TO CONSTRUCTION. FINAL SEALED "RECORD DRAWINGS" SHALL BE FILED WITH THE NM CID BEFORE PROJECT ACCEPTANCE.
4. PARALLEL WATER AND SEWER LINES SHALL BE AT LEAST TEN FEET APART HORIZONTALLY. SEPARATE TRENCHES WILL BE REQUIRED IN ALL CASES; WHEN WATER AND SEWER LINES CROSS EACH OTHER, THE WATER LINE SHALL BE AT LEAST 18 INCHES ABOVE THE SEWER LINE. OTHERWISE THE SEWER SHALL BE OF PRESSURE CLASS PIPE EXTENDING BETWEEN MANHOLES OR CONCRETE ENCASED FOR TEN FEET ON EACH SIDE OF THE WATER LINE.
5. THE CONTRACTOR MUST OBTAIN ALL SEWER PERMITS BEFORE COMMENCING ANY SEWER LINE CONSTRUCTION WITHIN THE NMDOT RIGHT-OF-WAY. A COPY OF THE PERMIT MUST BE AT THE CONSTRUCTION SITE TO BE SHOWN TO THE TOWN INSPECTOR UPON REQUEST.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND SHOULD NOT RELY SOLELY ON THESE PLANS FOR EXISTING UTILITY LOCATIONS.
7. THE CONTRACTOR SHALL PROVIDE AN AREA TO STORE CONSTRUCTION DEBRIS WHERE IT WILL NOT BE A NUISANCE TO THE SURROUNDING NEIGHBORHOOD. ALL DEBRIS SHALL BE CONTAINED IN SUCH A MANNER THAT WILL PREVENT SCATTERING, ALL DEBRIS INCLUDING TREES AND UNDERGROWTH SHALL BE DISPOSED OF PROPERLY WITHIN THE CITY LANDFILL. ALL DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO FINAL SITE INSPECTION.
8. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE CONSTRUCTION LIMITS OF THE PROJECT AND IN NO WAY SHALL ENCROACHMENT OCCUR ONTO ADJACENT PROPERTIES UNLESS LEGAL EASEMENTS ARE OBTAINED. ALL FILL AND CUT SLOPES SHALL BE SETBACK FROM THE PROPERTY LINE IN ACCORDANCE WITH CHAPTER 70 OF THE UNIFORM BUILDING CODE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY AGREEMENTS NECESSARY OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY INCLUDING UTILITIES.
9. ALL CHANGE ORDERS SHALL BE CERTIFIED BY A NEW MEXICO PROFESSIONAL ENGINEER AND RECEIVE TOWN APPROVAL PRIOR TO IMPLEMENTING CHANGE ORDER CONSTRUCTION.
10. FOR ALL CONCRETE USED, THE DESIGN COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, 6 BAG MIX AND MAXIMUM AGGREGATE SIZE OF 3/4 INCH. PERCENTAGE OF AIR ENTRAINMENT IN THE CONCRETE AT THE PROJECT SITE SHALL BE IN THE RANGE OF 4 TO 7 PERCENT.
11. ONE SET OF CONCRETE SAMPLING (THREE CONCRETE CYLINDERS) TO BE TAKEN FOR EACH 500 LINEAR FEET OR 50 CUBIC YARDS PLACED OR A MINIMUM OF ONE SAMPLE PER DAY WHICHEVER IS THE GREATEST. CONCRETE CYLINDERS ARE TO BE TEST BROKEN AT 7-DAY, 28-DAY AND 45-DAY (IF NEEDED) INTERVALS WITH TEST RESULTS SUBMITTED DIRECTLY TO THE ENGINEER.
12. THE DEVELOPER/CONTRACTOR DURING CONSTRUCTION SHALL MAINTAIN THE PROPER TRAFFIC CONTROL DEVICES IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS APPROVED BY THE TOWN.
13. THE MAXIMUM DEVIATION OF THE TOP SURFACE OF THE CURB AND GUTTER SHALL NOT EXCEED 1/8 INCH IN 10 FEET NOR SHALL THE INSIDE FACE DEVIATE MORE THAN 1/4 INCH IN 10 FEET FROM A STRAIGHT LINE. ALL AREAS WITH STANDING WATER SHALL BE REJECTED.
14. THE CONTRACTOR SHALL IMPLEMENT THE NECESSARY SITE EROSION CONTROL DEVICES FOR INHIBITING DUST, WIND AND AIR SEDIMENT MOVEMENT OFFSITE DURING ALL PHASES OR STAGES OF CONSTRUCTION.
15. UTILITY LINES MUST BE BORED UNDER ALL EXISTING STREET CONCRETE APPURTENANCES. A MINIMUM OF 12 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN UTILITY LINES. ALL CURB AND GUTTER DAMAGE MUST BE REPAIRED BEFORE FINAL INSPECTION.
16. SUBGRADE, BASE MATERIAL, ASPHALT TREATED BASE AND ASPHALT SURFACE COURSE REQUIRE COMPACTION TESTS FOR EACH 220 LINEAR FEET OF TRENCHING, AND 30 SQUARE YARDS OF EXTERIOR PAVING/CONCRETE WALK SUBBASE. ASPHALT SAMPLES FOR EACH 500 TONS INSTALLED OR ONE SAMPLE PER DAY IS REQUIRED TO BE ANALYZED WITH TEST RESULTS SENT TO THE ENGINEER. ALL BUILDING SUBGRADE COMPACTION TESTING PER ARCHITECTURAL SPECIFICATIONS
17. ALL UTILITY APPURTENANCES SUCH AS TELEPHONE PEDESTALS, ELECTRICAL BOXES, GAS AND CABLE TELEVISION, SHALL BE PLACED OUTSIDE THE PUBLIC RIGHT-OF-WAY AND WITHIN UTILITY EASEMENTS. THE DEVELOPER WILL BE RESPONSIBLE FOR RELOCATION OF MISLOCATED UTILITY STRUCTURES PRIOR TO PROJECT ACCEPTANCE.
18. ALL TURNOUT LOCATIONS SHALL BE APPROVED BY THE NMDOT ENGINEER & TOWN OF TAOS PRIOR TO CONSTRUCTION OF THE SAME.
19. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FROM THE NM CID, THE EPA (SWPPP), AND ANY OTHER REQUIRED PERMITS.



SITE, GRADING & DRAINAGE NOTES

1. RADII AND NEZ COORDINATES ALONG CURB LINE ARE AT THE TOP BACK OF CURB, UNLESS OTHERWISE NOTED. (N = NORTHING, E= EASTING, Z= ELEVATION, TOC = TOP OF CURB, AND FL = FLOWLINE AS REFERENCED FROM BENCHMARK)
2. CURB RAMPS SHALL MEET THE FOLLOWING CRITERIA: A) RAMP CLEAR WIDTHS OF 36" MIN., OR AS SHOWN B) MAXIMUM SLOPE OF 1:12 FOR CURB RAMP AND 10:1 FLARED SIDE SLOPES C) PROVIDE TEXTURE BY HEAVY BROOMING TRANSVERSE TO RAMP (0.035" DEPTH). CONTRACTOR SHALL VERIFY COMPLIANCE WITH THE DETAILS ON THIS SHEET AND THE ANSI A117.1-2003
3. ALL SIDEWALKS WITHIN THIS PROJECT SHALL QUALIFY AS AN ADA "ACCESSIBLE ROUTE". THE MAXIMUM LONGITUDINAL SLOPE SHALL BE 5%, AND THE MAXIMUM LATERAL SLOPE SHALL BE 2%. CONTRACTOR SHALL VERIFY RESULTING SLOPES OF ALL ACCESSIBLE ROUTES PRIOR TO POURING CONCRETE. CONCRETE SIDEWALKS EXCEEDING THESE GIVEN SLOPES WILL BE REJECTED.
4. MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1. STEEPER SLOPES SHALL REQUIRE 6" THICK, 4" MINUS RIPRAP PROTECTION.
5. COORDINATES GIVEN AT CORNERS OF ALL BUILDINGS ARE APPROXIMATE, EXACT DIMENSIONS OF BUILDINGS PER ARCHITECTURAL DRAWINGS. ELEVATIONS AT THESE COORDINATES ARE GIVEN AT ADJACENT GRADES.
6. ALL SITE CONSTRUCTION AND MATERIALS SHALL MEET OR EXCEED THE NM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 2006 EDITION.
7. LAYOUT OF CONTRACTION/EXPANSION JOINTS IN EXTERIOR WALKWAYS PER CONTRACTOR/ARCHITECT. CONTRACTION JOINTS SHALL BE 5' O.C. MAX, AND EXPANSION JOINTS SHALL BE 30' O.C. MAX. CONTRACTION/EXPANSION JOINTS IN CURB AND GUTTER PER PUBLIC WORKS STANDARD SPECIFICATIONS.
8. ALL TRAFFIC SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION. (DOWNLOAD FREE AT MUTCD.FHWA.DOT.GOV). HANDICAP PARKING STALLS SHALL BE STRIPED IN 4" WIDE BLUE PAINT, WITH A CLEARLY VISIBLE, WHITE, INTERNATIONAL SYMBOL OF ACCESSIBILITY (28"x24") PAINTED ON A BLUE BACKGROUND. HANDICAP AISLES SHALL BE INFILLED WITH 4" BLUE STRIPES AT 2' ON CENTER. ALL STRIPING SHALL BE IN ACCORDANCE WITH MUTCD SECTION 3B.19.
9. FIRE LANE SIGNAGE SHALL BE IN ACCORDANCE WITH NFPA D103.6.1. SIGNS SHALL READ "NO PARKING - FIRE LANE (DIRECTIONAL ARROW)". SIGNS SHALL HAVE A DIMENSION OF 12" X 18" TALL AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND.

TOWN OF TAOS - HYDROLOGY CALCULATIONS
Reference: Storm Drainage Ordinance #97-05

Edelman PUD Apartments						
		Zone: 1				
LAND TREATMENT (Page 17 of Ordinance)	EXISTING CONDITIONS (sq. ft.)	EXISTING CONDITIONS (acres)	% OF TOTAL AREA	DEVELOPED CONDITIONS (sq. ft.)	DEVELOPED CONDITIONS (acres)	% OF TOTAL AREA
A - Native Soils & Grass	85573	2.002	100.0%	40737	0.935	46.7%
B - Irrigated Lawns, etc.	0	0.000	0.0%	0	0.000	0.0%
C - Unpaved Parking, Roads, etc.	1646	0.038	1.9%	1812	0.042	2.1%
D - Pavement & Roofs	0	0.000	0.0%	44670	1.025	51.2%
				0.000	0.000	0.0%
TOTAL	87219	2.040	101.9%	87219	2.002	100.0%
100 YEAR STORM (Page 16 of Ordinance)				ZONE 2		
LAND TREATMENT	Peak Rate Discharge (cfs/acre)	Excess Precipitation (inches)		Peak Rate Discharge (cfs/acre)	Excess Precipitation (inches)	
A	1.34	0.610		1.52	0.870	
B	2.09	0.700		2.38	0.980	
C	2.89	1.070		3.28	1.420	
D	4.08	2.060		4.80	2.480	
100 YEAR STORM HYDROLOGY				EXISTING CONDITIONS		
LAND TREATMENT	Peak Flow Rate (cfs)	Runoff Volume (cf)		Peak Flow Rate (cfs)	Runoff Volume (cf)	
A	2.68	4434		1.25	2071	
B	0.00	0		0.00	0	
C	0.11	147		0.12	162	
D	0.00	0		4.18	7668	
TOTAL	2.79	4580		5.56	9901	
			2.765	5320		
			DIFFERENCE OF PEAK FLOW RATE FROM EXISTING TO DEVELOPED	DIFFERENCE OF RUNOFF VOLUME FROM EXISTING TO DEVELOPED		

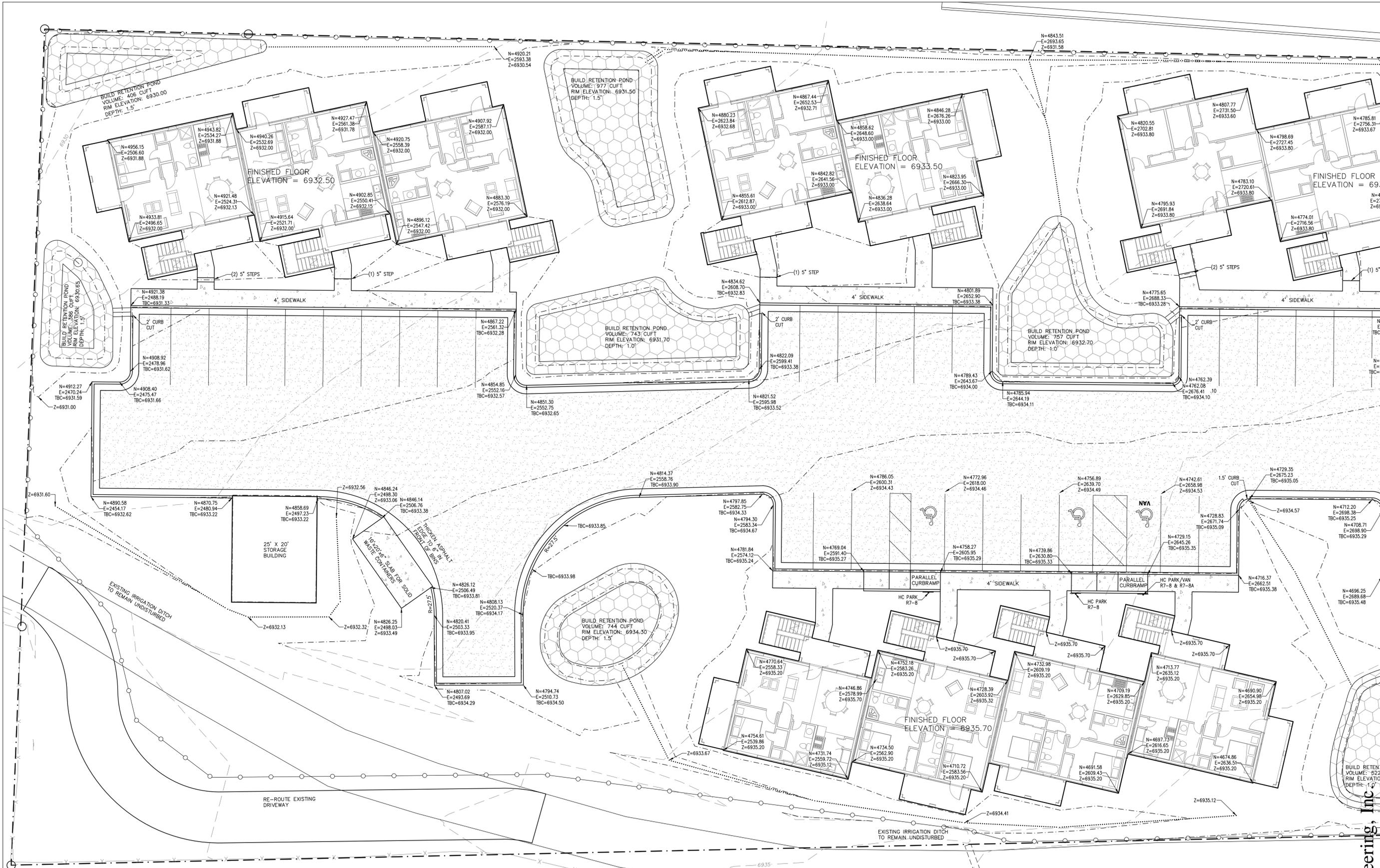
PROJ. NO: 2021-970
 ISSUE DATE: 03.07.2022
 ISSUED FOR: PUD REVIEW

NO	Date	Description

DRAFTED BY: ABH
 APPROVED BY: ARA

SCALE: 1" = 10'-0"

GRADING & DRAINAGE PLAN WEST



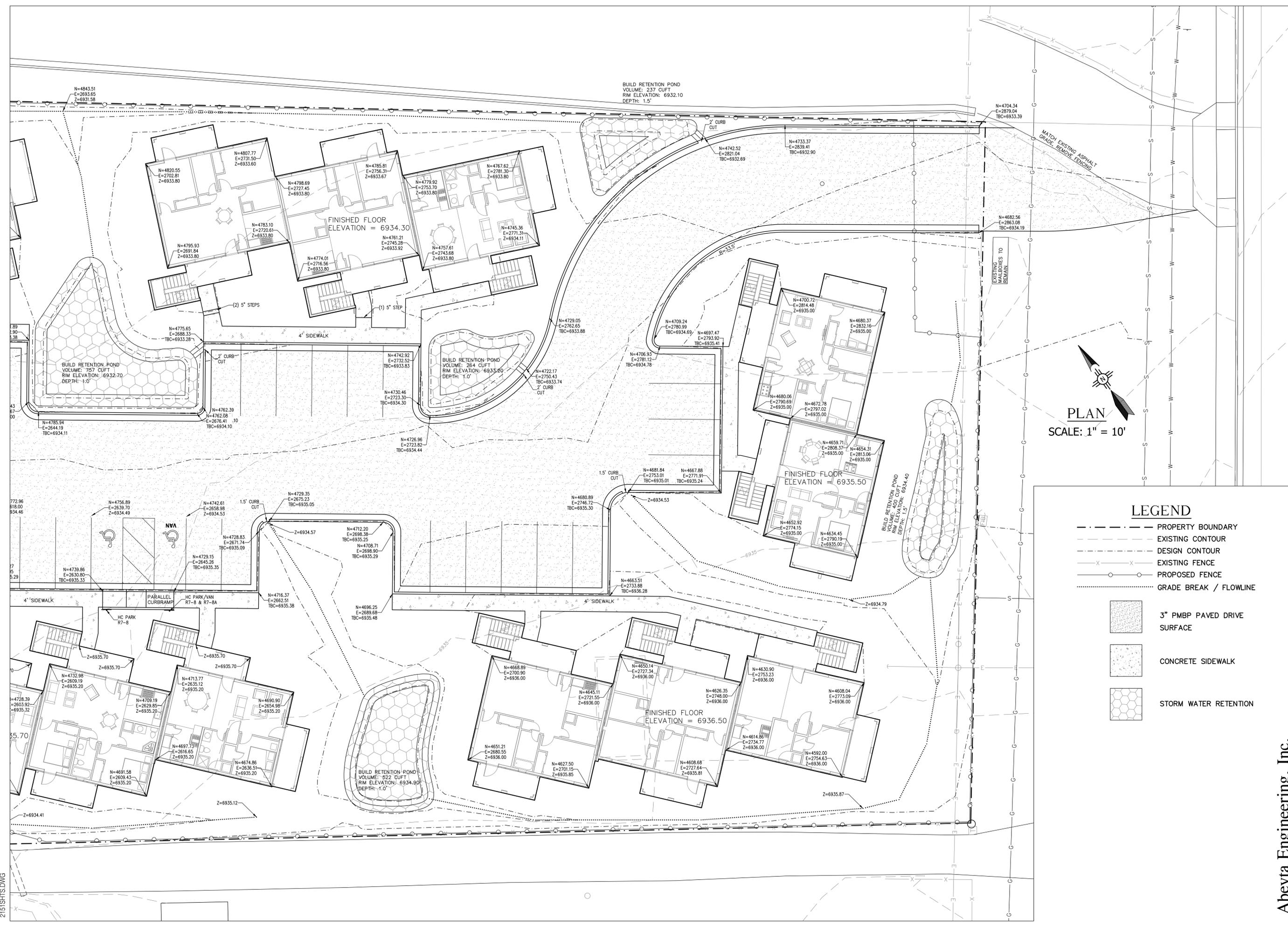
LEGEND

- PROPERTY BOUNDARY
- - - EXISTING CONTOUR
- - - DESIGN CONTOUR
- - - EXISTING FENCE
- - - PROPOSED FENCE
- GRADE BREAK / FLOWLINE
- [Pattern] 3" PMBP PAVED DRIVE SURFACE
- [Pattern] CONCRETE SIDEWALK
- [Pattern] STORM WATER RETENTION

PLAN
SCALE: 1" = 10'

Abeyta Engineering, Inc

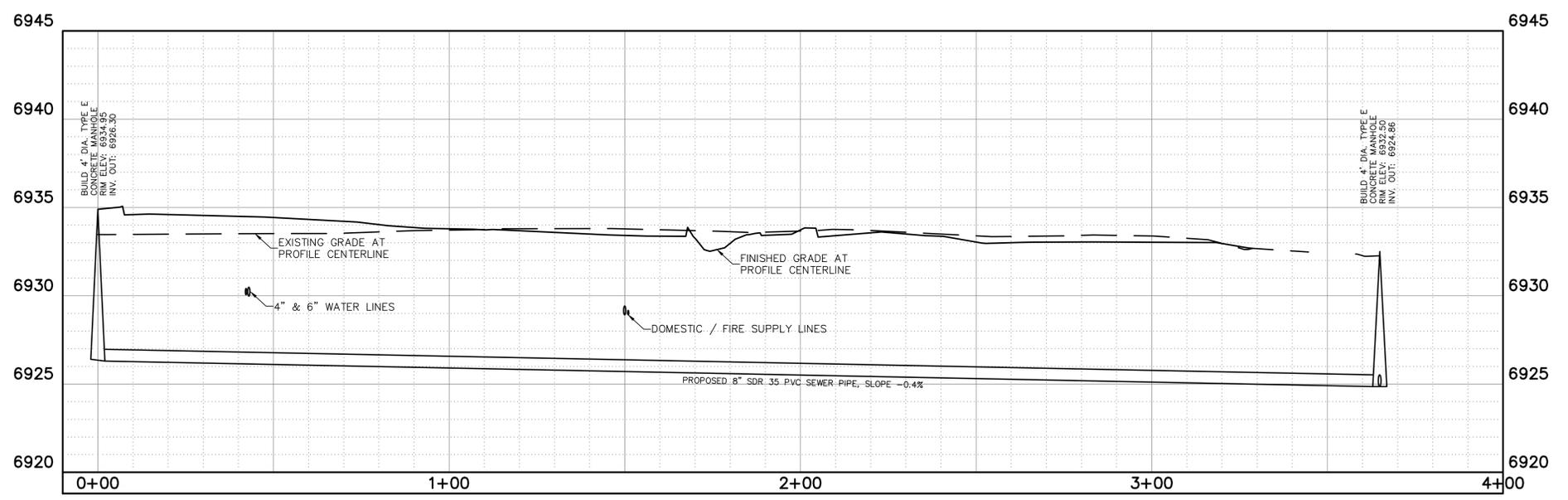
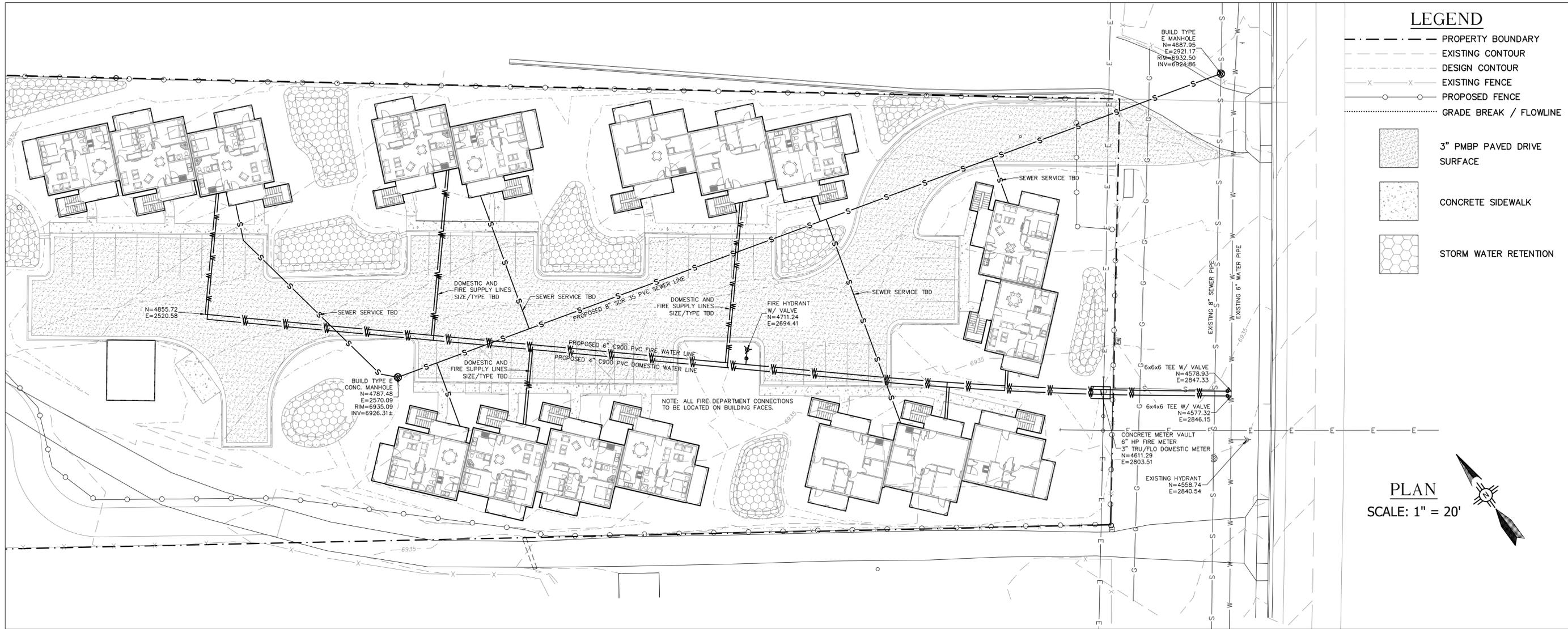
PROJ. NO:	2021-970	
ISSUE DATE:	03.07.2022	
ISSUED FOR:	REVIEW	
REVISIONS:		
NO	Date	Description
DRAFTED BY:	ABH	
APPROVED BY:	ARA	
SCALE:	1" = 10'-0"	
GRADING & DRAINAGE PLAN EAST		



PLAN
SCALE: 1" = 10'

LEGEND

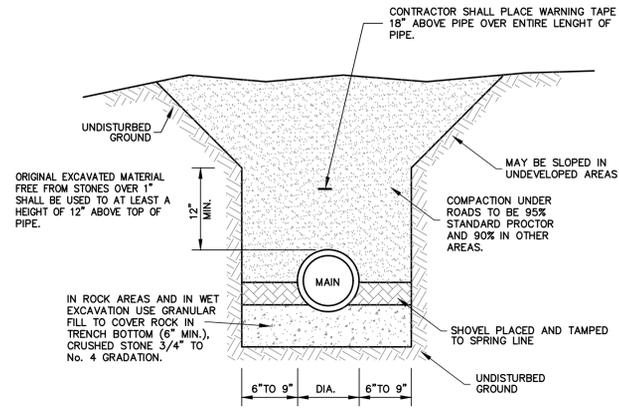
	PROPERTY BOUNDARY
	EXISTING CONTOUR
	DESIGN CONTOUR
	EXISTING FENCE
	PROPOSED FENCE
	GRADE BREAK / FLOWLINE
	3" PMBP PAVED DRIVE SURFACE
	CONCRETE SIDEWALK
	STORM WATER RETENTION



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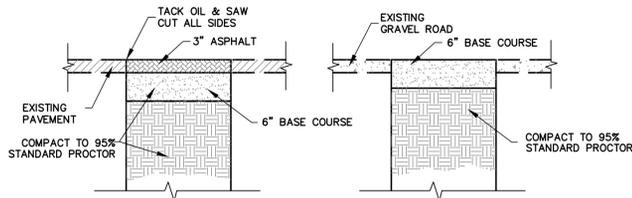
REVISIONS:

NO	Date	Description

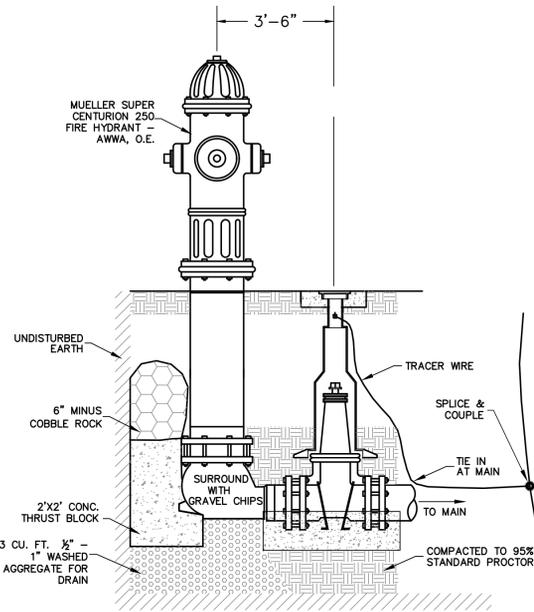


COMPACTION DETAIL
SCALE: N.T.S.

NOTE: ALL BACKFILL AND COMPACTION SHALL CONFORM TO ASTM D1557 REQUIREMENTS.



ROAD REPLACEMENT DETAIL
SCALE: N.T.S.

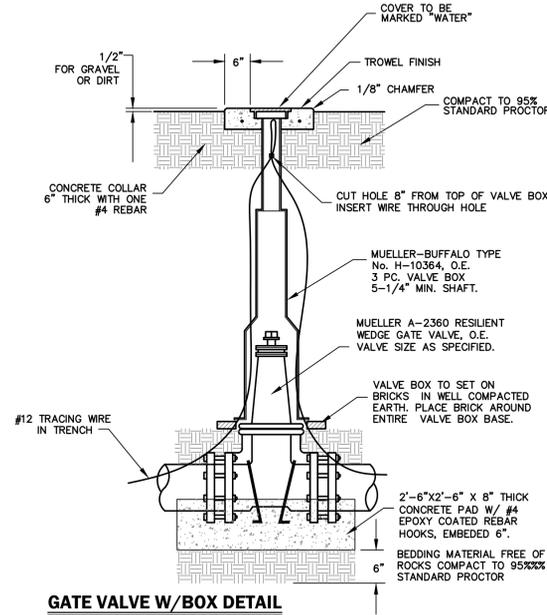


FIRE HYDRANT W/GATE VALVE DETAIL
N.T.S.

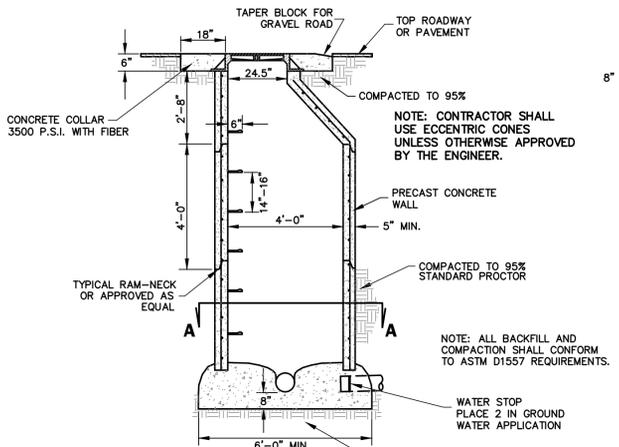
NOTES:
1. CONCRETE BENEATH FIRE HYDRANT SHALL NOT EXCEED THE LIMITS SHOWN ON THE DETAIL DRAWING, AND SHALL NOT OBSTRUCT DRAIN HOLE.
2. HYDRANT SHALL BE PLACED SUCH THAT THERE IS A 5' UNOBSTRUCTED WORKING AREA ON ALL SIDES, NOTIFY ENGINEER OR PROJECT MANAGER IF THIS IS NOT POSSIBLE.

NOTES: VALVE LOCATIONS SHALL BE AS SHOWN ON THE PLANS, BUT IN GENERAL A GATE VALVE SHALL BE INSTALLED ON EACH BRANCH OF A WATER MAIN INTERSECTION.

ALL VALVE BOXES SET IN TRAFFIC BEARING AREAS TO HAVE SCREW-TYPE SHAFT (NOT SLIP TYPE).

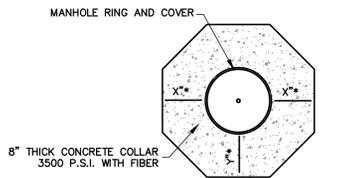


GATE VALVE W/BOX DETAIL
N.T.S.

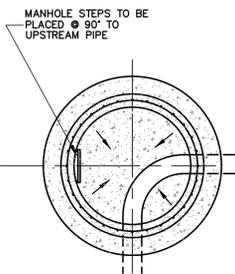


STANDARD TYPE \"E\" MANHOLE
N.T.S.

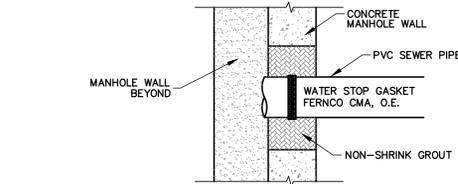
NOTE: ALL BACKFILL AND COMPACTION SHALL CONFORM TO ASTM D1557 REQUIREMENTS.



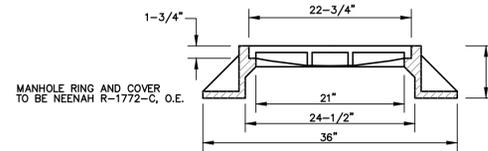
CONCRETE COLLAR DETAIL
N.T.S.



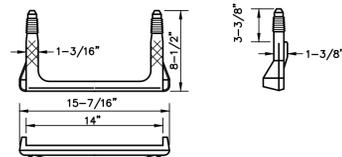
SECTION A-A: STANDARD THRU BASE
N.T.S.



PVC PIPE TO MANHOLE DETAIL
SCALE: N.T.S.

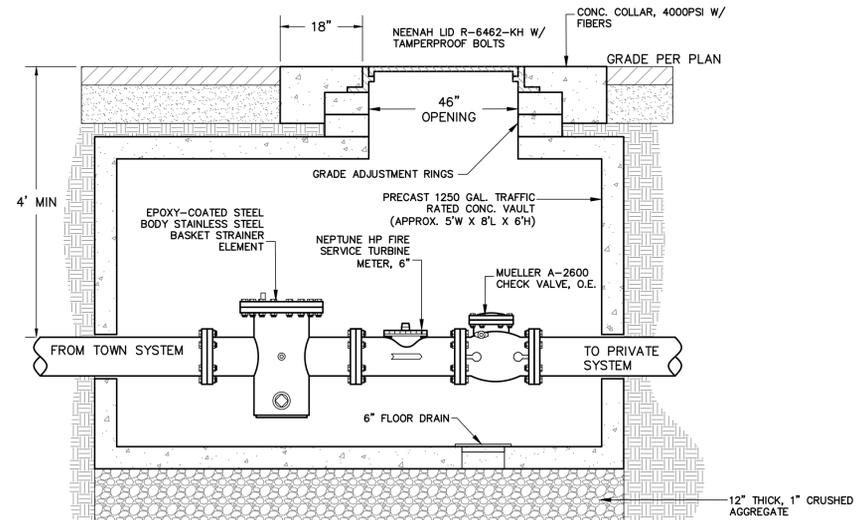


MANHOLE RING AND COVER
SCALE: N.T.S.



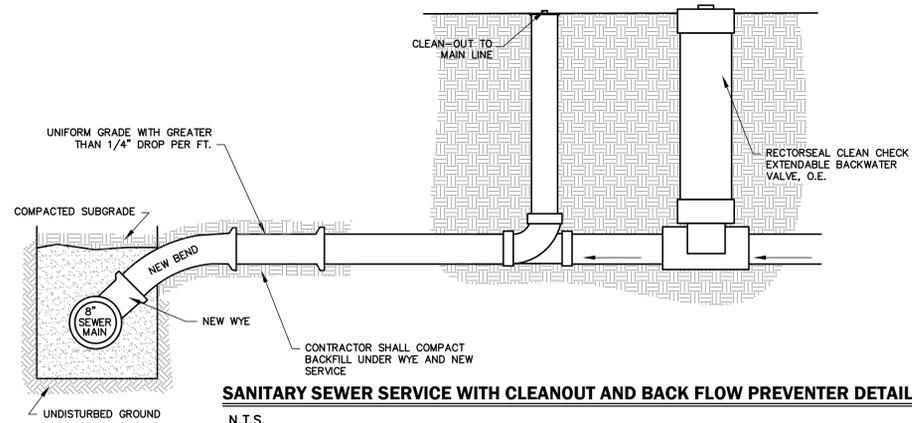
MANHOLE STEP
SCALE: N.T.S.

CONTRACTOR SHALL USE MANHOLE STEPS AS MANUFACTURED BY M.A. INDUSTRIES, INC. No. PS-2-PF, O.E. CONTRACTOR MAY ALSO USE AN EXTRUDED ALUMINUM MANHOLE STEP NEEMAH No. R-1982-N, O.E. STEPS TO BE USED SHALL BE IN ACCORDANCE WITH ASTM C-478.



METER & VAULT SECTION
N.T.S.

NOTE: METER ASSEMBLY SHALL BE A NEPTUNE HIGH PERFORMANCE FIRE SERVICE TURBINE METER, O.E.



SANITARY SEWER SERVICE WITH CLEANOUT AND BACK FLOW PREVENTER DETAIL
N.T.S.

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	Description

DRAFTED BY: ABH
APPROVED BY: ARA

SCALE: NONE

WATER & SEWER DETAILS

C-5