

DAVID Y. IGE  
GOVERNOR



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DR. CHRISTINA M. KISHIMOTO  
SUPERINTENDENT

MAR 23 2018

STATE OF HAWAII  
DEPARTMENT OF EDUCATION  
P.O. BOX 2360  
HONOLULU, HAWAII 96804

OFFICE OF THE SCHOOL FACILITIES AND SUPPORT SERVICES

OFC. OF ENVIRONMENTAL  
QUALITY CONTROL

18 MAR -7 A9:47

RECEIVED

February 28, 2018

Mr. Scott Glenn  
Director, Office of Environmental Quality Control  
State Office Tower  
235 South Beretania Street, Room 702  
Honolulu, Hawaii 96813

Re: Finding of No Significant Impact (FONSI)  
Waialua Elementary School Library/Media Center  
Tax Map Key: [1] 6-7-001: 010  
Portion of Kamananui, District of Waialua, Oahu, Hawaii

Dear Mr. Glenn:

The Department of Education, State of Hawaii, has reviewed all comments received during the 30-day public comment period for the subject project and has issued a Finding of No Significant Impact (FONSI). Please publish this determination in the next edition of the Environmental Notice.

A printed copy of the Final Environmental Assessment and CD with the document in PDF format are enclosed. The Environmental Notice publication form will be emailed to OEQC.

Should you have any questions, please contact Keith Tanaka, Project Coordinator of the Facilities Development Branch, Project Management Section, at 784-5066.

Sincerely,

John C. H. Chung  
Acting Public Works Administrator  
Facilities Development Branch

JCHC:lm  
Enclosures: Final EA (1 Printed Copy/1 CD)

c: Facilities Development Branch

18-419

## AGENCY PUBLICATION FORM

|   |   |
|---|---|
| Project Name:                           | Waialua Elementary School Library / Media Center  |
| Project Short Name:                     | None  |
| HRS §343-5 Trigger(s):                  | 343-5(a)(1) propose the use of state or county lands or state or county funds   |
| Island(s):                              | O'ahu   |
| Judicial District(s):                   | Waialua   |
| TMK(s):                                 | [1] 6-7-001: 010  |
| Permit(s)/Approval(s):                  | Variation from Pollution Control (Noise Permit), Disability Communications Access Board, Chapter 6-E Review, Special Management Area Use Permit, Building, Grading, Certificate of Occupancy, Sediment and Soil Erosion, Trenching, BWS Construction Plan Review, HFD Fire Plans Review |
| Proposing/Determining Agency:           | Department of Education, State of Hawaii<br>Project Management Section, Facilities Development Branch<br>Office of School Facilities and Support Services<br>3633 Waialae Avenue<br>Honolulu, HI 96816  |
| Contact Name, Email, Telephone, Address | John Chung, Public Works Manager<br>Project Management Section, Facilities Development Branch<br>Office of School Facilities and Support Services<br>3633 Waialae Avenue<br>Honolulu, HI 96816<br>T: 784-5110<br>E. john_ch_chung@notes.K12.hi.us                                       |
| Accepting Authority:                    | (for EIS submittals only)   |
| Contact Name, Email, Telephone, Address |   |
| Consultant:                             | Gerald Park Urban Planner   |
| Contact Name, Email, Telephone, Address | Gerald Park<br>95-595 Kaname'e Street #324<br>Mililani, HI 96789<br>T: (808) 625-9626<br>E: <a href="mailto:gpark@gpup.biz">gpark@gpup.biz</a>  |

**Status (select one)** DEA-AFNSI**Submittal Requirements**

Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEA, and 4) a searchable PDF of the DEA; a 30-day comment period follows from the date of publication in the Notice.

 FEA-FONSI

Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; no comment period follows from publication in the Notice.

 FEA-EISPN

Submit 1) the proposing agency notice of determination/transmittal letter on agency letterhead, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEA, and 4) a searchable PDF of the FEA; a 30-day comment period follows from the date of publication in the Notice.

 Act 172-12 EISPN  
("Direct to EIS")

Submit 1) the proposing agency notice of determination letter on agency letterhead and 2) this completed OEQC publication form as a Word file; no EA is required and a 30-day comment period follows from the date of publication in the Notice.

 DEIS

Submit 1) a transmittal letter to the OEQC and to the accepting authority, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the DEIS, 4) a searchable PDF of the DEIS, and 5) a searchable PDF of the distribution list; a 45-day comment period follows from the date of publication in the Notice.

- FEIS                      Submit 1) a transmittal letter to the OEQC and to the accepting authority, 2) this completed OEQC publication form as a Word file, 3) a hard copy of the FEIS, 4) a searchable PDF of the FEIS, and 5) a searchable PDF of the distribution list; no comment period follows from publication in the Notice.
- FEIS Acceptance Determination                      The accepting authority simultaneously transmits to both the OEQC and the proposing agency a letter of its determination of acceptance or nonacceptance (pursuant to Section 11-200-23, HAR) of the FEIS; no comment period ensues upon publication in the Notice.
- FEIS Statutory Acceptance                      Timely statutory acceptance of the FEIS under Section 343-5(c), HRS, is not applicable to agency actions.
- Supplemental EIS Determination                      The accepting authority simultaneously transmits its notice to both the proposing agency and the OEQC that it has reviewed (pursuant to Section 11-200-27, HAR) the previously accepted FEIS and determines that a supplemental EIS is or is not required; no EA is required and no comment period ensues upon publication in the Notice.
- Withdrawal                      Identify the specific document(s) to withdraw and explain in the project summary section.
- Other                      Contact the OEQC if your action is not one of the above items.

**Project Summary**

Provide a description of the proposed action and purpose and need in 200 words or less.

The Waialua Elementary School Library/Media Center is a completed project. This Final Environmental Assessment is an after the fact document prepared to comply with the substantive and procedural requirements of Chapter 343, Hawaii Revised Statutes and Title 11, Chapter 200, Hawaii Administrative Rules.

Because construction has been completed and the structure occupied, short-term environmental impacts are considered moot. In the long-term, the new facility will provide students, faculty, and staff a modern, spacious environment for reading, research, test-taking, tutoring, and grade level gatherings.

The Media Center will engage students in learning computer skills and introduce students to video and multi-media production. It is anticipated that the proposed curricula and hands-on training will provide learned skills that students can apply within the school, upper grade levels, the community, and future occupations.

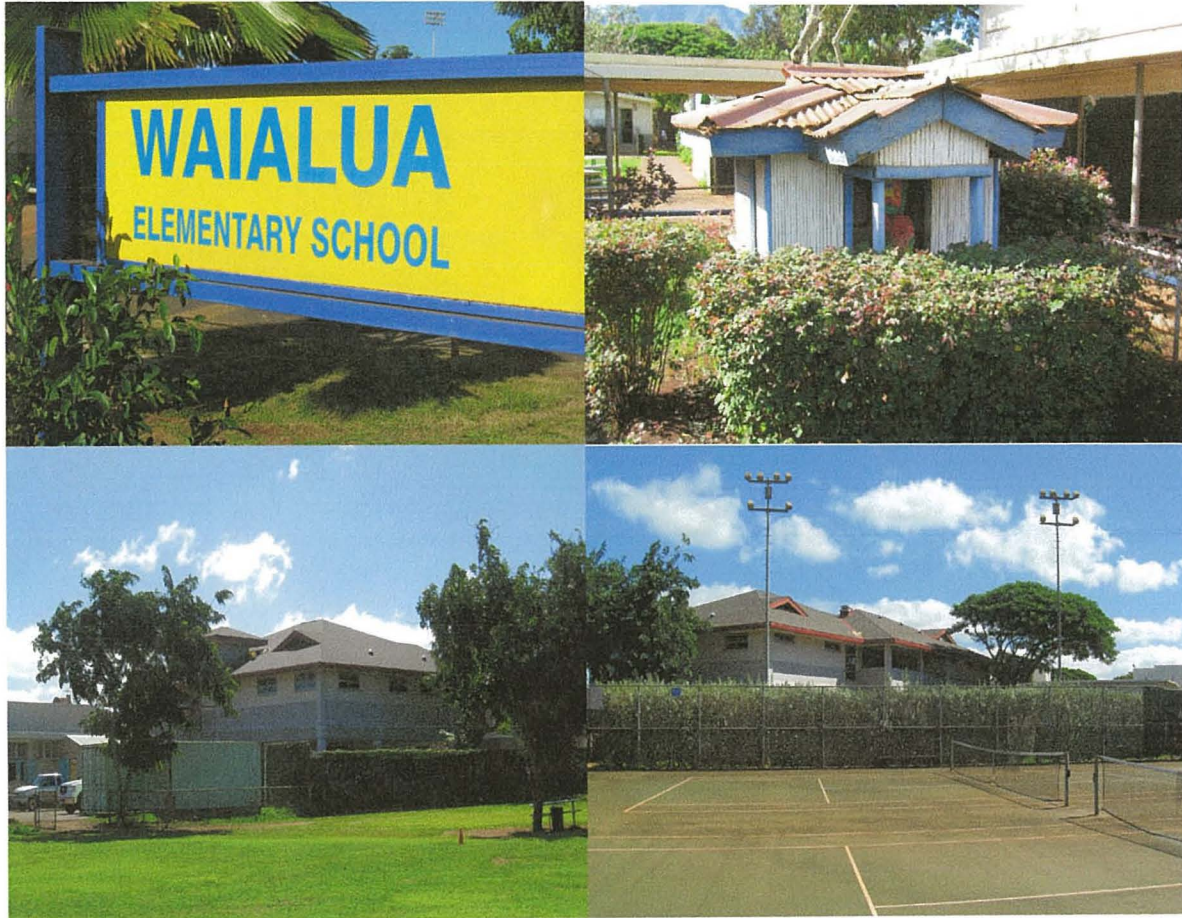
## FINAL ENVIRONMENTAL ASSESSMENT

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# WAIALUA ELEMENTARY SCHOOL LIBRARY / MEDIA CENTER

*Portion of Kamananui, District of Waialua, O'ahu, Hawai'i*

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Prepared for

Department of Education  
State of Hawai'i  
Project Management Section  
Facilities Development Branch  
3663 Waialae Avenue  
Honolulu, Hawai'i 96816

Januali 2018

## FINAL ENVIRONMENTAL ASSESSMENT

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# **WAIALUA ELEMENTARY SCHOOL LIBRARY / MEDIA CENTER**

*Portion of Kamananui, District of Waialua, O'ahu, Hawai'i  
Department of Education Job No. Q76002-07*

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Prepared in Partial Fulfillment of Chapter 343, Hawai'i Revised Statutes and  
Title 11, Chapter 200, Hawai'i Administrative Rules

### **Prepared for**

Department of Education  
State of Hawai'i  
Project Management Section  
Facilities Development Branch  
3633 Waialae Avenue  
Honolulu, Hawai'i 96816

### **Prepared by**

Gerald Park Urban Planner  
95-595 Kaname'e Street #324  
Mililani, Hawai'i 96789

Kober Hanssen Mitchell Architects  
77 Merchant Street, Suite  
Honolulu, Hawai'i 96813

lanuali 2018

## PROJECT PROFILE

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Proposed Action: Waialua Elementary School  
Library / Media Center  
Job No. Q76002-07

Location: Portion of Kamananui, District of Waialua,  
O'ahu, Hawai'i

Address: 67-020 Waialua Beach Road  
Waialua, Hawai'i 96791

Proposing/Determining Agency: Department of Education  
Facilities Development Branch  
1151 Punchbowl Street, Room 501  
Honolulu, Hawai'i 96813

Tax Map Key: 6-7-001: 010  
Land Area: 6.994 acres  
Landowner: City and County of Honolulu  
State of Hawai'i

Existing Use: Public Elementary School  
State Land Use Designation: Agricultural  
O'ahu General Plan: Rural  
*Sustainable* Communities Plan (SCP): North Shore  
SCP Land Use Map: Agriculture  
Zoning: AG-1 Restricted Agriculture District  
Special Management Area: Within Special Management Area

Need for Assessment: Chapter 343, Hawai'i Revised Statutes  
§343-5 (a)(1) Propose the use of state or  
county lands or the use of state or county  
funds.

[Anticipated] Determination: Finding of No Significant Impact

Contact Person: ***John Chung, Public Works Manager***  
***Department of Education***  
***Project Management Section***  
***Facilities Development Branch***  
***Office of School Facilities and Support Services***  
***3633 Waialae Avenue***  
***Honolulu, Hawai'i 96816***

Telephone: 784-5110

**Note:** Substantive revisions to the text of the Draft Environmental Assessment are in ***bold italic*** type. Deleted text is in brackets with a ~~strikethrough~~.

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The Department of Education, State of Hawai'i, proposes to construct a new school library at Waialua Elementary School located in the *ahupua'a* of Kamananui (portion) District of Waialua, O'ahu, Hawai'i. Waialua Elementary School ("Waialua Elementary") is bounded by Waialua Beach Road to the north and east, residential and commercial lots and uses to the south, and Waialua District Park to the west. A Location Map is shown in Figure 1.

On campus, the site of the library generally is bounded by the school's Cafeteria and Dining Room on the north, two portable classroom buildings to the south, Building "A" to the east, and recreation facilities (tennis courts) at Waialua District Park to the west. The tennis courts are from the school by chain link fencing and hedge plantings.

The school site bears Tax Map Key 6-7-001: 010 encompassing an area of 6.994 acres. A Tax Map is shown in Figure 2.

### **A. Purpose and Need for the Project**

The purpose of the project is to replace an existing school library with a modern facility with up to date technology and space to support the educational needs of students and the curriculum requirements of instructors. Occupying a portion of a classroom building (Building "C") that was constructed in 1969 the existing library lacks sufficient space for housing a collection of books, periodicals, reference materials, general interest materials, and staff working areas. In addition, the building was not designed to protect the collection from outside humidity, moisture, dust, and salt air.

### **B. Technical Characteristics**

#### **1. Library and Media Wing**

A rectangular-shaped building with a footprint of approximately 8,545 gross square feet is proposed (See Figure 3). Space in the two-story structure is allocated for a covered play area on the ground level and a school library and media center on the second level.

A covered play court is provided on the ground level. Place for students when the days are hot or during inclement weather. The play court measures approximately 7,632 square feet. Space is also set aside for a mechanical room / elevator, electrical closet, storage, and two separate stairways to the second level (913 square feet). A Ground Floor Plan is shown on Figure 4.

In plan view, the second level is separated into three principal spaces. The proposed library is placed on the west wing and the media center on the east wing. Both are connected by a breezeway spanning the width of the second level. Space in the library has been allocated for a circulation desk, reading/bookstacks, storytelling area, workroom / production, student conference room, librarian's office, professional staff room, three restrooms, and a utility closet. The floor area is approximately 4,180 square feet.

The media center provides separate rooms for multi-media production, a media control center, sound / recording room, a computer resource center, and a technical coordinator's

office. The media center floor area is approximately 2,340 square feet. An architectural space program is shown in Table 1 and the Second Floor Plan in Figure 5.

Table 1. Architectural Space Program

| <b>Program Areas</b>           | <b>Square Feet</b> |
|--------------------------------|--------------------|
| <b>A. Library</b>              | 2,850              |
| • Circulation Desk (256 SF)    |                    |
| • Reading Bookstack (1,912 SF) |                    |
| • Periodicals (220 SF)         |                    |
| • Storytelling Area (462 SF)   |                    |
| Workroom/Production            | 566                |
| Offices                        | 144                |
| Professional Staff Material    | 187                |
| Student Conference Rooms       | 232                |
| General Utility                | 45                 |
| Restrooms (3)                  | 156                |
| <b>B. Media Center</b>         |                    |
| Media Control Room             | 261                |
| Technical Coordinator Office   | 518                |
| Computer Resources Center      | 1,229              |
| Soundroom                      | 83                 |
| Subtotal: Programmed Areas     | 6,271              |
| <b>Non-Program Areas</b>       |                    |
| Multi-Media Production Room    | 250                |
| Breezeway                      | 352                |
| Lanai 1                        | 400                |
| Lanai 2                        | 482                |
| Subtotal Non-program Areas     | 1,484              |
| <b>Total Net Floor Area</b>    | <b>6,666</b>       |

Source: Kober Hanssen Mitchell Architects, Inc. 2010.

The space program is based on a design enrollment of 600 students.

The structure will be constructed on a poured in place concrete foundation and floor and poured in place concrete columns with pre-stressed tees and toppings. Cement masonry units will enclose utility rooms on the ground floor and interior spaces and sections of the exterior wall on the second floor. Wood trusses will support a gable roof covered with asphalt shingles.

The height of the building is approximately 35'-3" measured from finish grade to top of roof ridge. Exterior Elevations are shown on Figures 6a and 6b. At the design height, the building exceeds the 25'-0" height limit for the zoning district. A waiver to exceed the height limit will be requested from the Department of Planning and Permitting, City and County of Honolulu.

The building will incorporate sustainable features such as low flow plumbing systems, low e glazing, and energy efficient mechanical and building systems. The building is not designed for Leadership in Energy and Environmental Design (LEED) rating.

The second level will be air conditioned for the comfort of the staff, students, and faculty. In addition, a controlled environment will help to control mildew and mold and protect the collection against humidity, salt air, and dust. Air conditioning pumps, compressors, chillers, and associated mechanical equipment will be placed in a walled enclosure behind the library.

The building will not be equipped with a fire sprinkler system.

## **2. Circulation and Off-Street Parking**

Changes to on-campus vehicle circulation patterns and parking configurations are not proposed.

## **3. Infrastructure**

Potable water will be supplied through a new 2" service line from the existing on-campus water system.

A new 8" wastewater main will be installed between the Library and the Cafeteria. Existing wastewater lines crossing the site of the library will be cut and plugged (or removed) and rerouted to the new 8" waste line. Wastewater will discharge into an existing individual wastewater system (IWS) located adjacent to and northwest of the proposed Library. The IWS has a design capacity of 12,000 gallons per day.

Electrical power will be provided from a new electrical transformer that is separate to the transformer serving the school.

A Site and Utility Plan is shown in Figure 7.

A fire hydrant will be installed at the end of the loading zone for the cafeteria near the western edge of campus. An 8" fire service line will connect the new fire hydrant to an existing fire line on the eastern side of the campus. Approximately 480 lineal feet of piping will be installed traversing beneath an existing lawn and play area, driveways, and parking areas at the front of the school.

## **4. Demolition**

Existing sidewalks, irrigation lines, wastewater lines, water lines, and electrical systems within the construction limits will be demolished, cut, plugged and abandoned in place, or relocated. An existing portable classroom will be relocated next to a building labeled "Museum" on the site plan.

One tree will be removed, two existing trees (a gold tree and kou tree) relocated to different locations near the library, and three trees (monkeypod, shower, and plumeria) left in place.

An existing play structure (or equipment) will be relocated to a lawn area fronting Building "A" next to a parking area.

## 5. Grading

The library site will be grubbed of vegetation and graded to a finished elevation of between 13.4 to 14 feet (top of pavement). Based on spot elevations, the high side is the southeast corner and the low side the northwest corner.

The area to be disturbed by construction is estimated at 0.48 acres and the area to be graded approximately 0.13 acres. Earthwork estimates are 15 cubic yards of excavation and 30 cubic yards of embankment. A Grading Plan is shown on Figure 8.

Earthwork quantities for the fire line are estimated at 160 cubic yards of excavation and 98 cubic yards of trench backfill.

## 6. Landscaping

Areas around the library will be grassed, hedge material spot planted, and two trees relocated. Planted areas will be irrigated by an underground irrigation system. A Landscape Planting Plan is shown in Figure 9.

The existing play structure will be relocated to a lawn area fronting Building "A". An approximately 4,500 SF area will be graded and four picnic tables/benches repositioned to accommodate the structure. The structure will be installed with a resilient surface for user safety and ease of maintenance.

## C. Economic Characteristics

~~Construction costs are estimated at \$3.6 million and will be funded by the State of Hawai'i.~~ **The final construction cost for the project was \$5.9 million and will be funded by the State of Hawai'i.**

~~Construction commenced in June 2010 and will be completed by August 2014. The facility should be ready for occupancy in September 2014.~~ **Construction commenced in June 2010 and was completed by August 2014. The facility has been occupied since Spring 2015.**

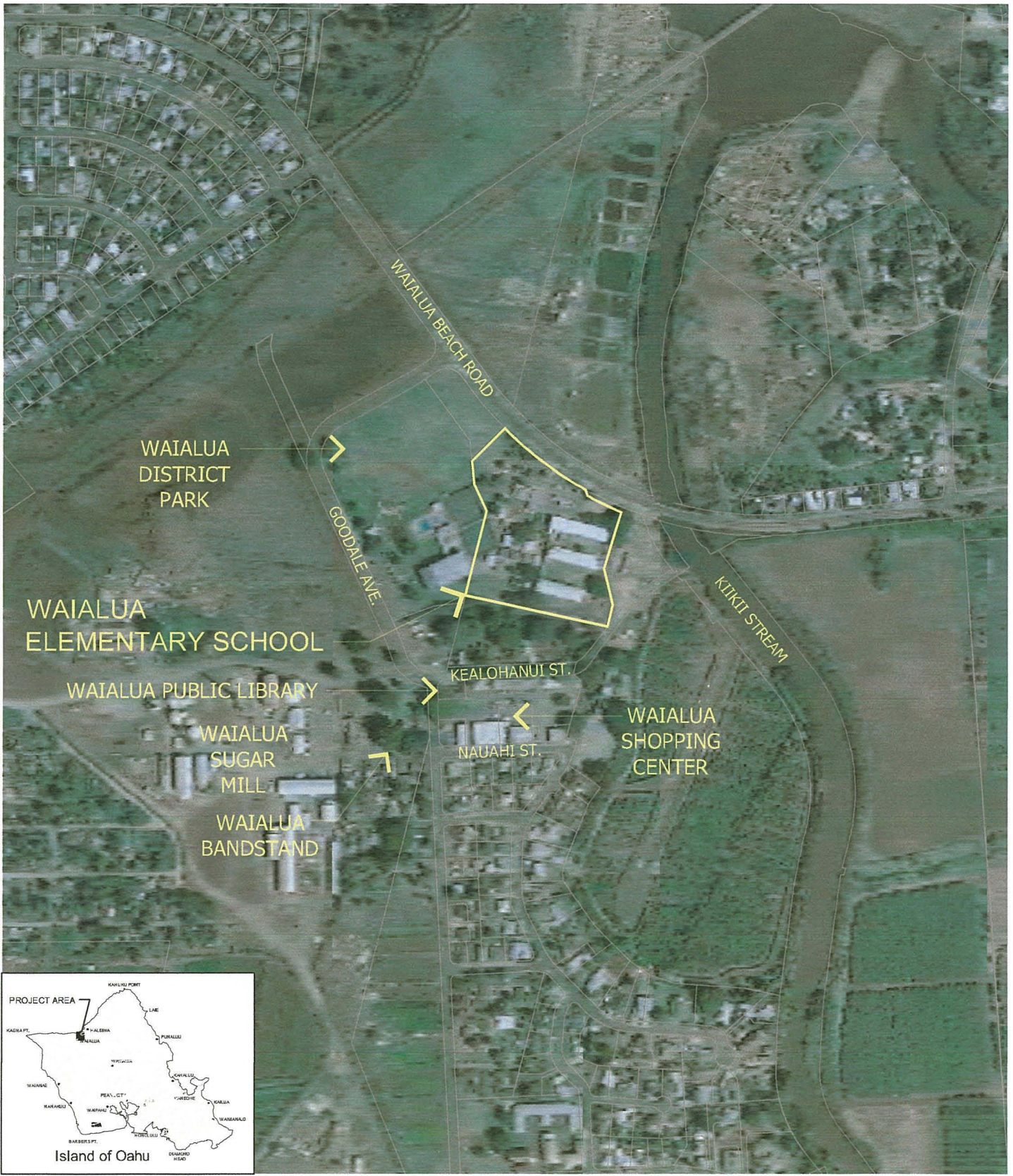
The 6.994 acre lot is owned by the City and County of Honolulu and the State of Hawai'i. Based on the contributed cost in acquiring the property the City and County of Honolulu owns an estimated 77.5% of the lot (5.42 acres) and the State of Hawai'i an estimated 22.5% (1.57 acres).

## D. Social Characteristics

The library and media center will have maximum occupancy loads of 60 and 50 persons, respectively.

The existing library is staffed by a full-time librarian and a part-time assistant. Staffing requirements for the new library have not yet been determined.

The Library and Media Center and relocated play structure will be ADA ("Americans with Disability Act") accessible and compliant with the guidelines for the respective structure and play area facilities. An elevator will provide vertical access between floors.



Source: USGS, Waianae Quadrangle

Gerald Park  
Urban Planner  
July 2012

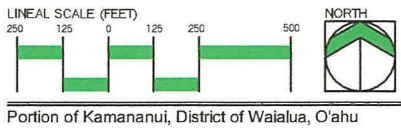
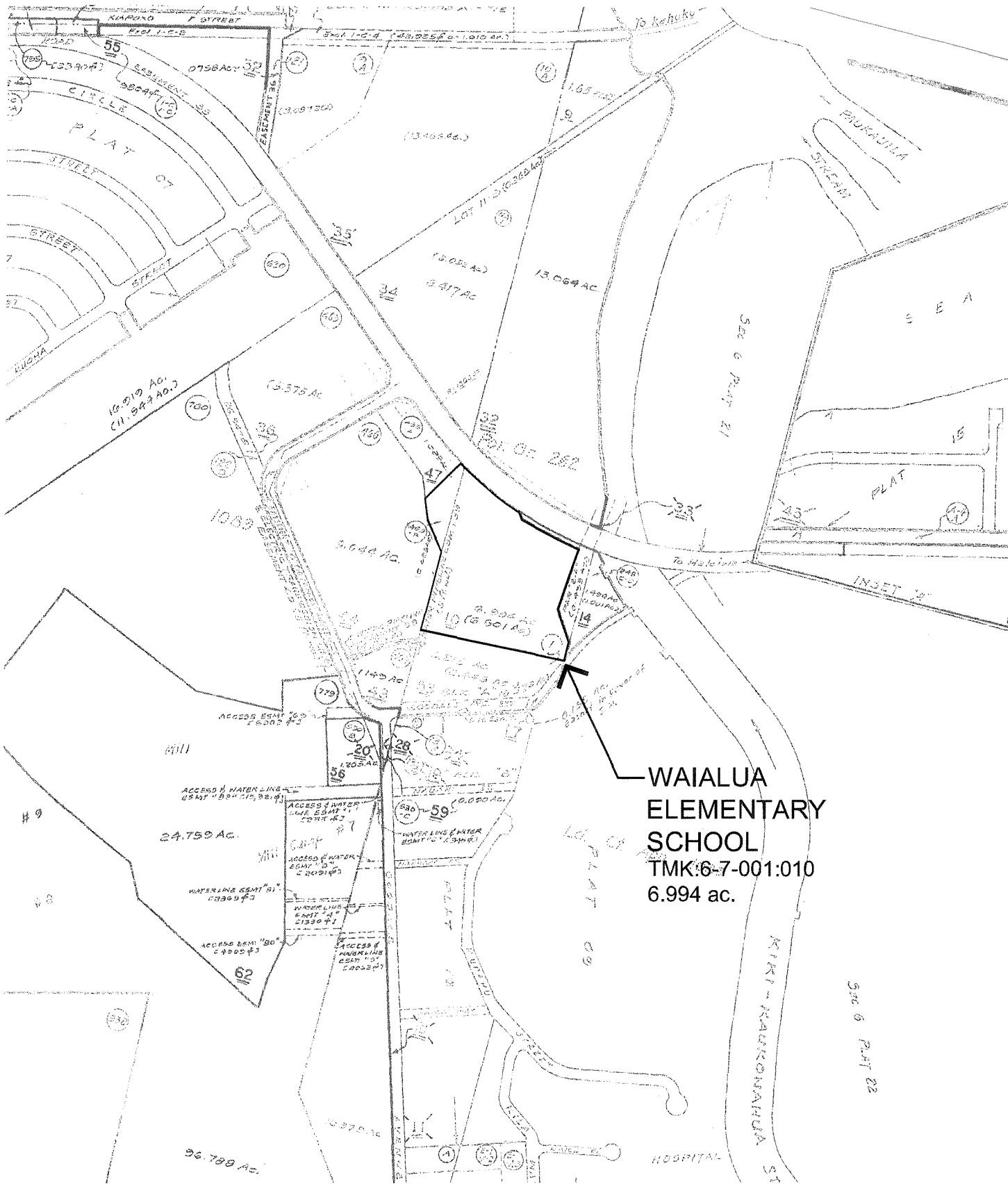
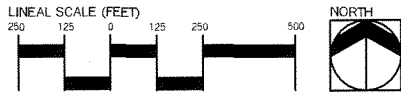


Figure 1  
Location Map  
Waialua Elementary School Library / Media Center



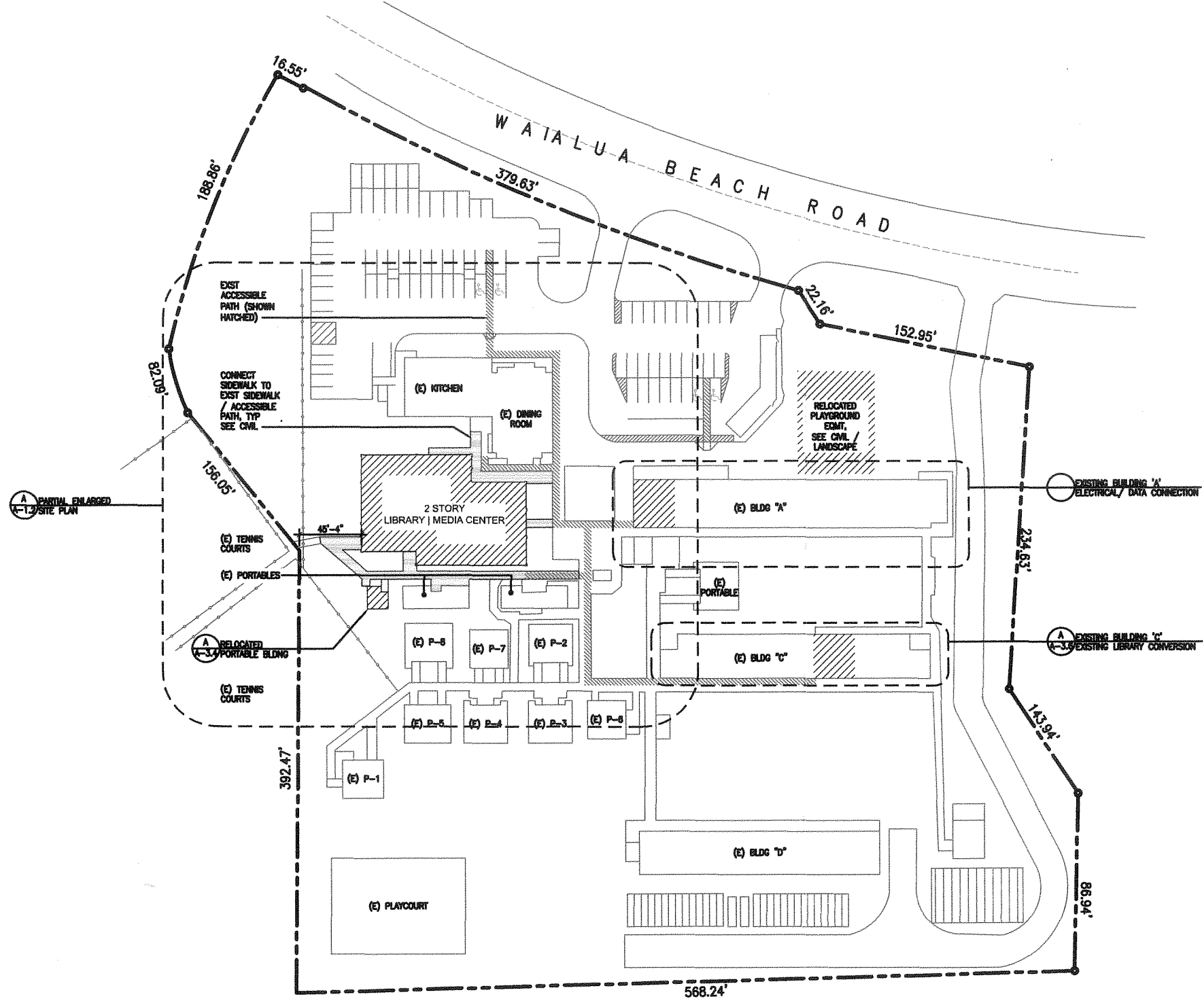
**WAIALUA  
 ELEMENTARY  
 SCHOOL**  
 TMK:6-7-001:010  
 6.994 ac.

Source: Tax Map, City & County of Honolulu

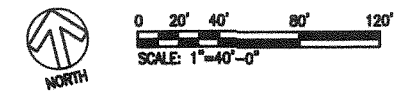


Portion of Kamananui, District of Waialua, O'ahu

Figure 2  
 Tax Map  
 Waialua Elementary School Library / Media Center



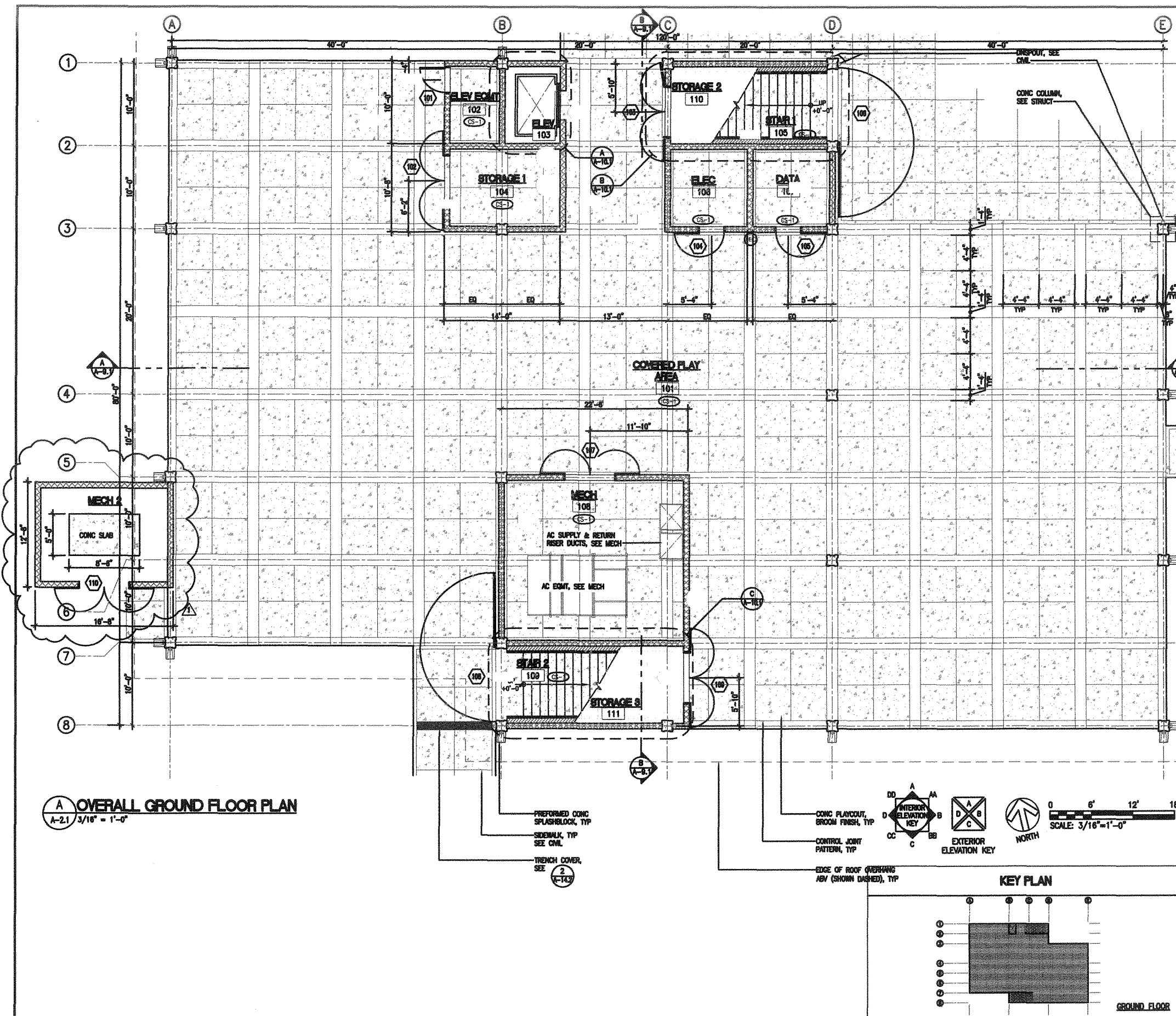
**A OVERALL SITE PLAN**  
A-12 1" = 30'



| REVISION NO.  | SYM. | DESCRIPTION   | BY | DATE   | APPROVED |
|---|------|---|----|--|----------|
|   |      |   |    |  |          |
|   |      |   |    |  |          |
|   |      |   |    |  |          |
|   |      |   |    |  |          |
|   |      |   |    |  |          |
|   |      |   |    |  |          |
| DEPARTMENT OF EDUCATION<br>STATE OF HAWAII<br><b>WAIALUA ELEMENTARY SCHOOL<br/>           LIBRARY / MEDIA CENTER</b><br>WAIALUA OAHU HAWAII<br><b>OVERALL SITE PLAN</b> |      |   |    |  |          |
| LICENSE EXP. 04/30/2014<br>THIS WORK WAS PREPARED BY ME<br>OR UNDER MY SUPERVISION  |      | KOBER/HANSEN/MITCHELL ARCHITECTS<br>DESIGNED BY: KHMA<br>DRAWN BY: KHMA |    | DOE JOB NO.<br>Q76002-07<br>DATE<br>MAY 2010           |          |
|   |      | CHECKED BY: KHMA<br>APPROVED BY:  |    | DRAWING NO.<br><b>A-12</b><br>SHEET<br>OF _____ SHEETS |          |
| SCALE: AS NOTED   |      |   |    |  |          |

Figure 3





**PROGRAM AREA TABULATION**  
500 STUDENT DESIGN ENROLLMENT

| I. PROGRAM AREAS              |                         |                   |                  |                             |                    |         |
|-------------------------------|-------------------------|-------------------|------------------|-----------------------------|--------------------|---------|
| RM NO.<br>(per<br>Contract)   | RM NO.<br>(as<br>Shown) | ROOM NAME         | FACD<br>(Sqd ft) | Revised<br>FACD<br>(Sqd ft) | ACTUAL<br>(Sqd ft) | REMARKS |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| -                             | -                       | -                 | -                | -                           | -                  | -       |
| SUBTOTAL PROGRAMMED AREAS     |                         |                   | -                | -                           | -                  | -       |
| II. NON-PROGRAM AREAS         |                         |                   |                  |                             |                    |         |
| 101                           | -                       | COVERED PLAY AREA |                  |                             | 7,632              | -       |
| 102                           | -                       | ELEV EDMT         |                  |                             | 75                 | -       |
| 103                           | -                       | ELEVATOR          |                  |                             | -                  | -       |
| 104                           | -                       | STORAGE           |                  |                             | 145                | -       |
| 105                           | -                       | STAIR 1           |                  |                             | -                  | -       |
| 106                           | -                       | ELEC              |                  |                             | 110                | -       |
| 107                           | -                       | DATA              |                  |                             | 110                | -       |
| 108                           | -                       | MECH              |                  |                             | 473                | -       |
| 109                           | -                       | STAIR 2           |                  |                             | -                  | -       |
| SUBTOTAL NON-PROGRAMMED AREAS |                         |                   |                  |                             | 8,545              | -       |
| TOTAL NET FLOOR AREA          |                         |                   |                  |                             | -                  | -       |
| TOTAL GROSS FLOOR AREA        |                         |                   |                  |                             | 8,545              | -       |

- WALL LEGEND:**
- 8" CMU WALL (WALL TYPE 1)
  - 3 5/8" MET STUD W/ INSULATION (WALL TYPE 2)
  - 6" MET STUD PLUMBING WALL (WALL TYPE 3)
  - 6" MET FURRING WALL (WALL TYPE 4)

**A OVERALL GROUND FLOOR PLAN**  
A-2.1 3/16" = 1'-0"

PREFORMED CONG  
SPLASHBLOCK, TYP

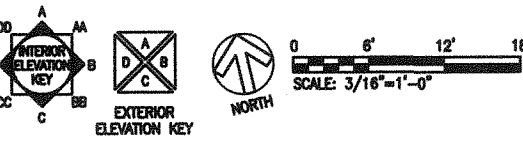
SIDEWALK, TYP  
SEE CNL

TRENCH COVER,  
SEE  
2  
C-743

CONG PLYOUT,  
BROOM FINISH, TYP

CONTROL JOINT  
PATTERN, TYP

EDGE OF ROOF (KERFING  
ASY (SHOWN DASHED), TYP



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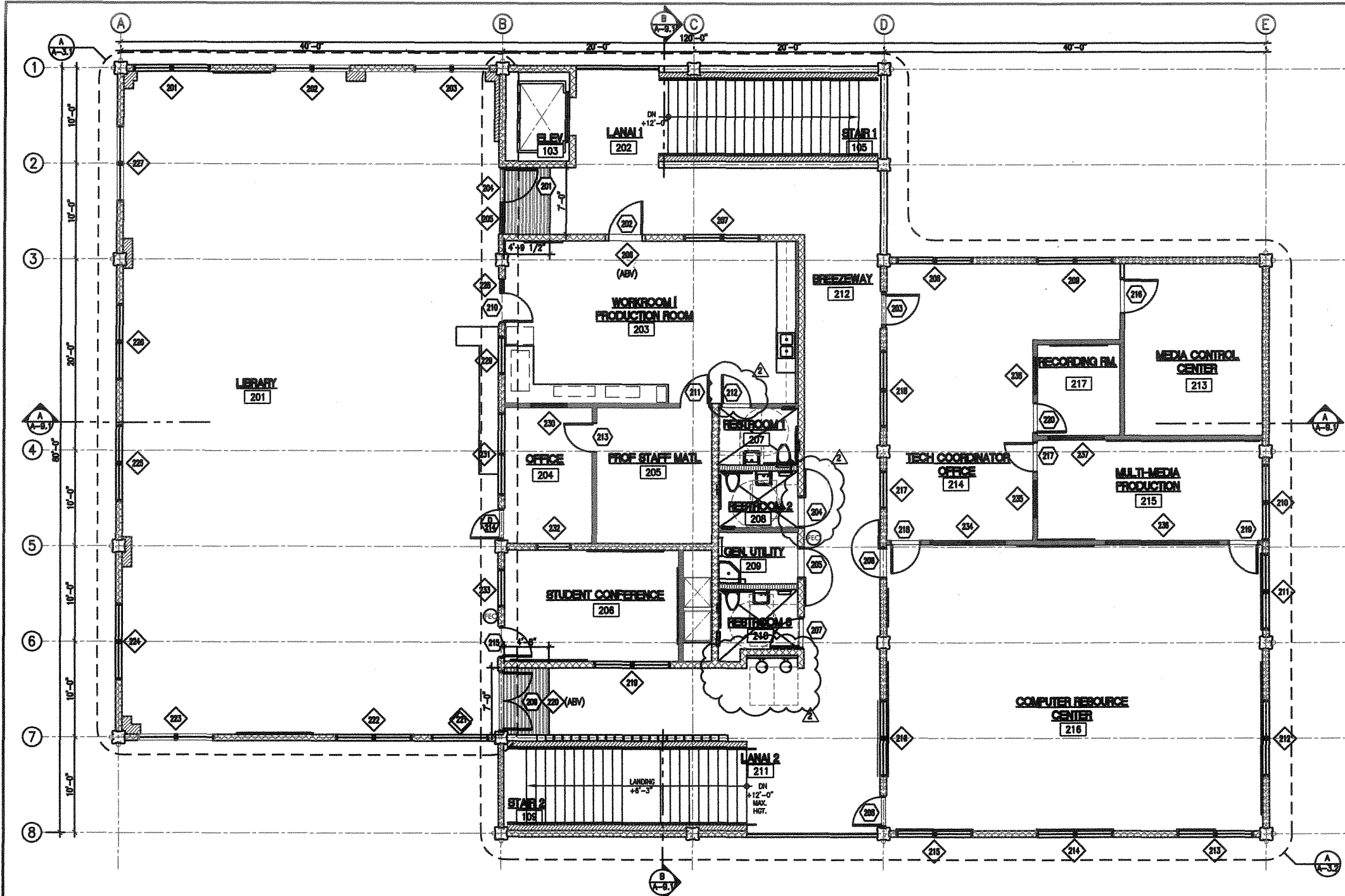
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**OVERALL GROUND FLOOR PLAN**

|                      |                     |                          |                            |
|----------------------|---------------------|--------------------------|----------------------------|
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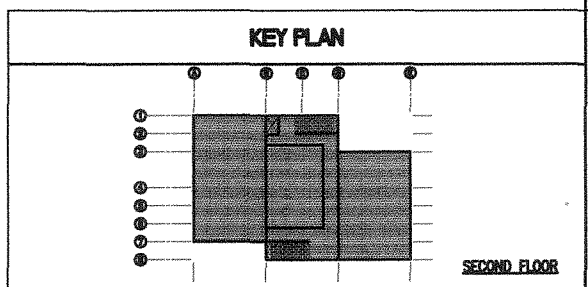


**A OVERALL SECOND FLOOR PLAN**  
A-22 3/16" = 1'-0"

| PROGRAM AREA TABULATION       |         |                         |       |         |                 |
|-------------------------------|---------|-------------------------|-------|---------|-----------------|
| 300 STUDENT DESIGN ENROLLMENT |         |                         |       |         |                 |
| I. PROGRAM AREAS              |         |                         |       |         |                 |
| RM NO.                        | RM NO.  | ROOM NAME               | FACE  | Revised | ACTUAL          |
| (Sheet)                       | (Sheet) |                         | (Sf)  | (Sf)    | (Sf)            |
| 201                           |         | LIBRARY                 | 3,242 |         | 2,850           |
|                               |         | CIRCULATION DESK        | 180   |         | 256             |
|                               |         | READING/BOOKSTACK       | 2,446 |         | 1,912           |
|                               |         | PERIODICAL              | 216   |         | 220             |
|                               |         | STORYTELLING AREA       | 400   |         | 482             |
| 203                           |         | WORKROOM/PRODUCTION     | 600   |         | 586             |
| 204                           |         | OFFICE                  | 132   |         | 144             |
| 205                           |         | PROF STAFF MAIL         | 209   |         | 187             |
| 206                           |         | STUDENT CONFERENCE      | 292   |         | 232             |
| 207                           |         | RESTROOM 1              | 70    |         | 50              |
| 208                           |         | RESTROOM 2              | 70    |         | 50              |
| 209                           |         | GENERAL UTILITY         | 40    |         | 45              |
| 210                           |         | RESTROOM 3              | 70    |         | 56              |
| 213                           |         | MEDIA CONTROL CENTER    | 450   |         | 261             |
| 214                           |         | TECH COORDINATOR OFFICE | 300   | 480     | 518 INC STORAGE |
| 216                           |         | COMP RESOURCE CNTR      | 1,200 |         | 1,229           |
|                               |         | GROUP ACTIVITY          | 900   |         |                 |
|                               |         | COMMON ACTIVITY         | 100   |         |                 |
|                               |         | CIRCULATION AREA        | 200   |         |                 |
| 217                           |         | SOUND ROOM              |       |         | 83              |
| SUBTOTAL PROGRAMMED AREAS     |         |                         |       | 6,815   | 6,271           |

| II. NON-PROGRAM AREAS                          |         |                        |      |         |        |
|--|---------|------------------------|------|---------|--------|
| RM NO.   | RM NO.  | ROOM NAME              | FACE | Revised | ACTUAL |
| (Sheet)  | (Sheet) |                        | (Sf) | (Sf)    | (Sf)   |
| 202  |         | LANAI 1                |      |         | 400    |
| 211  |         | LANAI 2                |      |         | 482    |
| 212  |         | BREEZEWAY              |      |         | 352    |
| 215  |         | MULTI-MEDIA PRODUCTION | 150  |         | 250    |
| SUBTOTAL NON-PROGRAMMED AREAS                  |         |                        |      |         | 1,503  |
| TOTAL NET FLOOR AREA                           |         |                        |      |         | 6,686  |
| TOTAL GROSS FLOOR AREA (INC VERT. CIRCULATION) |         |                        |      |         | 8,484  |

- WALL LEGEND:**
- 6" CMU WALL (WALL TYPE 1)
  - 3 5/8" MET STUD W/ INSULATION (WALL TYPE 2)
  - 6" MET STUD PLUMBING WALL (WALL TYPE 3)
  - 6" MET FURRING WALL (WALL TYPE 4)



| 2            | DCAB COMMENT |             |      |          |  |
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ROBERT H. MITCHELL  
LICENSED PROFESSIONAL ARCHITECT  
No. 8338  
HAWAII, U.S.A.

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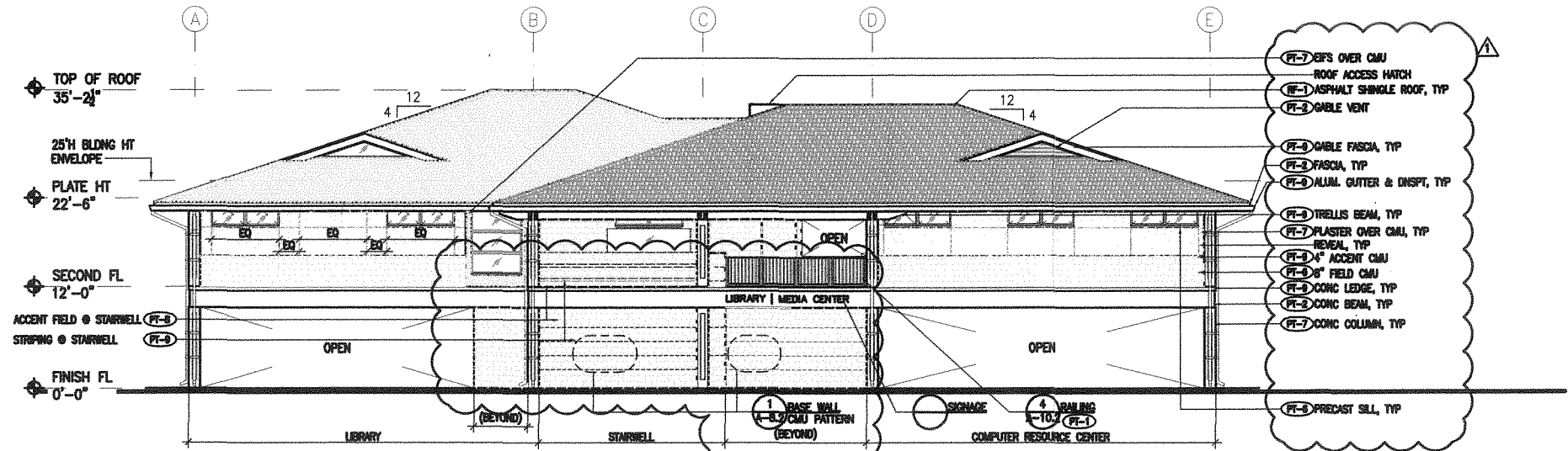
**OVERALL SECOND FLOOR PLAN**

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DRAWN BY: KHMA  
SCALE: AS NOTED

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DATE: MAY 2010

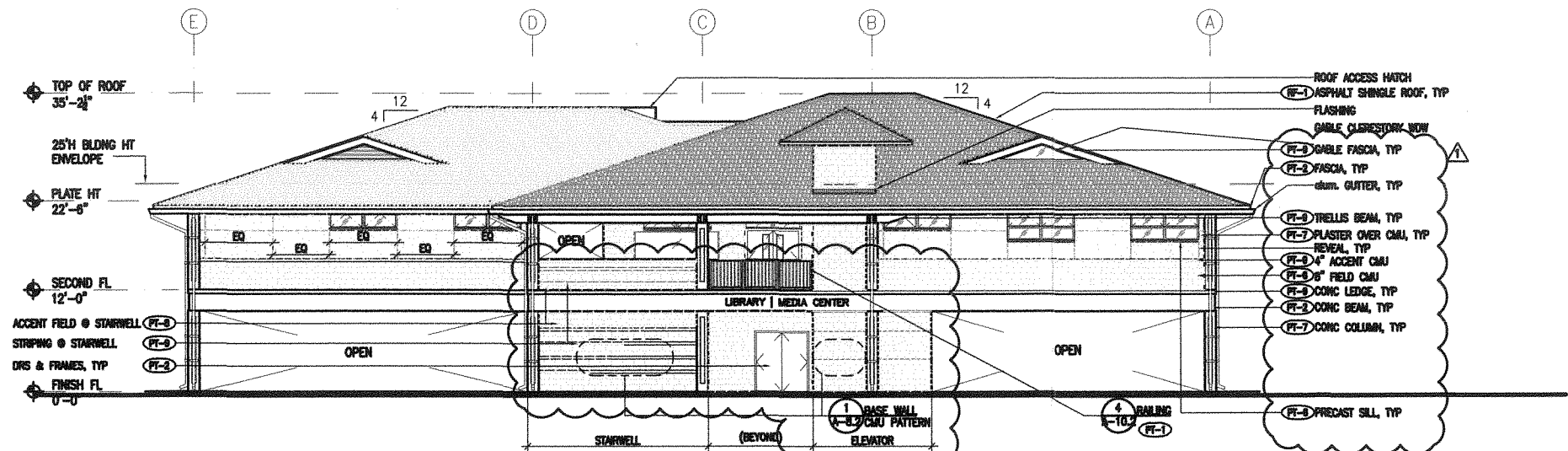
**A-22**  
DRAWING NO.  
SHEET

Figure 5



**A SOUTH ELEVATION**  
A-8.1 1/8" = 1'-0"

- (FT-7) EPS OVER CMU
- ROOF ACCESS HATCH
- (RF-1) ASPHALT SHINGLE ROOF, TYP
- (FT-8) GABLE VENT
- (FT-4) GABLE FASCIA, TYP
- (FT-5) FASCIA, TYP
- (FT-6) ALUM. GUTTER & D/SPT, TYP
- (FT-8) TRELLIS BEAM, TYP
- (FT-7) PLASTER OVER CMU, TYP
- REVEAL, TYP
- (FT-8) 4" ACCENT CMU
- (FT-8) 8" FIELD CMU
- (FT-8) CONC LEDGE, TYP
- (FT-8) CONC BEAM, TYP
- (FT-7) CONC COLUMN, TYP
- (FT-8) PRECAST SILL, TYP



**B NORTH ELEVATION**  
A-8.1 1/8" = 1'-0"

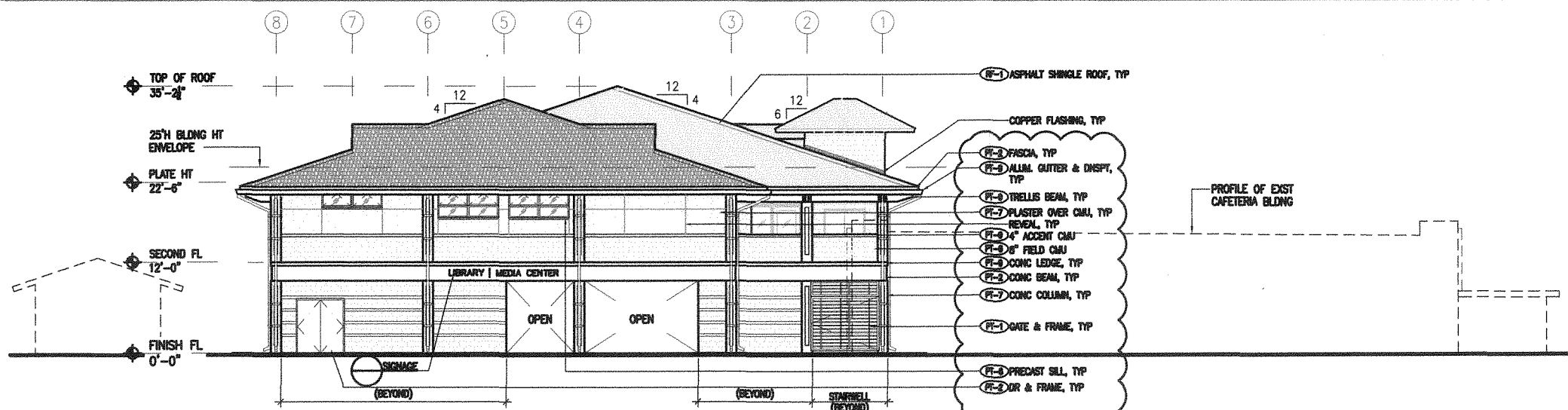
- ROOF ACCESS HATCH
- (RF-1) ASPHALT SHINGLE ROOF, TYP
- FLASHING
- GABLE CLEARESTORY ROW
- (FT-8) GABLE FASCIA, TYP
- (FT-5) FASCIA, TYP
- alum. GUTTER, TYP
- (FT-8) TRELLIS BEAM, TYP
- (FT-7) PLASTER OVER CMU, TYP
- REVEAL, TYP
- (FT-8) 4" ACCENT CMU
- (FT-8) 8" FIELD CMU
- (FT-8) CONC LEDGE, TYP
- (FT-8) CONC BEAM, TYP
- (FT-7) CONC COLUMN, TYP
- (FT-8) PRECAST SILL, TYP

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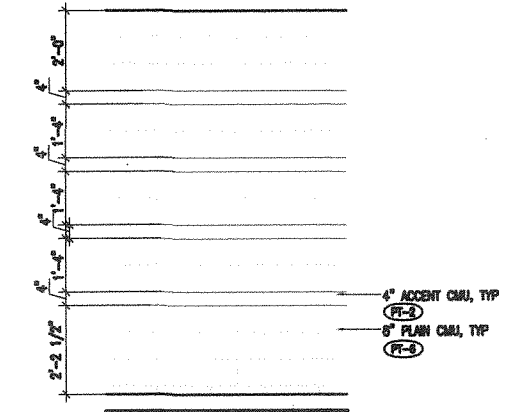
  

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Figure 6a

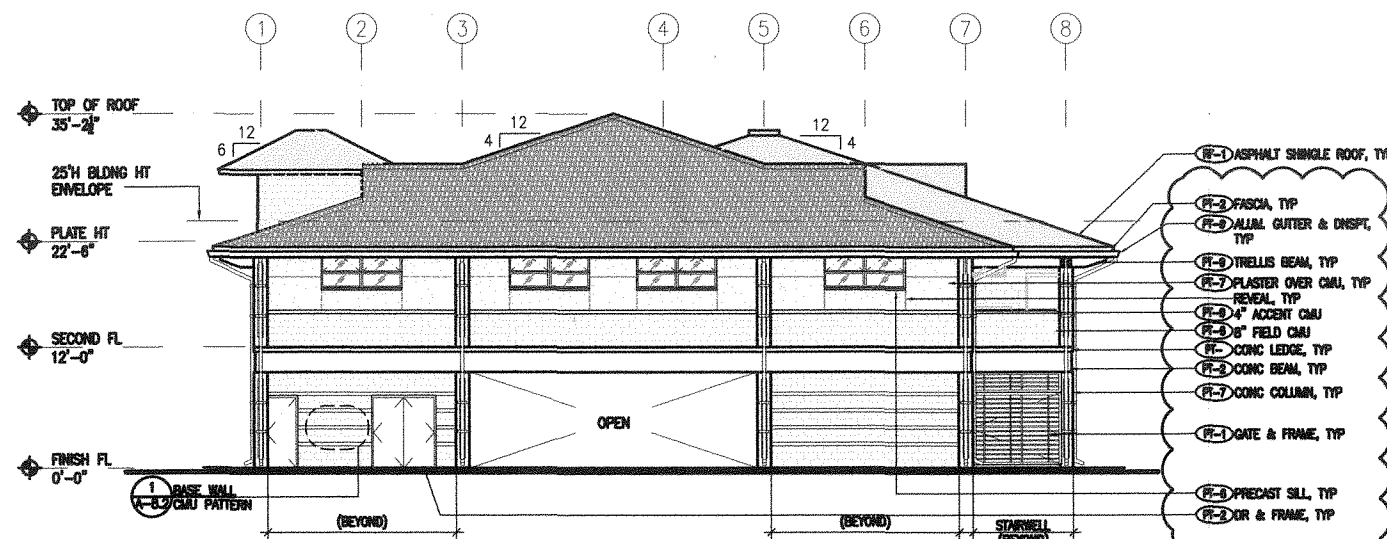


**A EAST ELEVATION**  
A-82 1/8" = 1'-0"

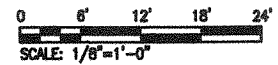


**1 CMU PATTERN DETAIL**  
A-82 1/8" = 1'-0"

NOTE: FINISHES TYP EXCEPT FOR STARWELL LOCATIONS. SEE SHY A-8.1 FOR STARWELL FINISHES.



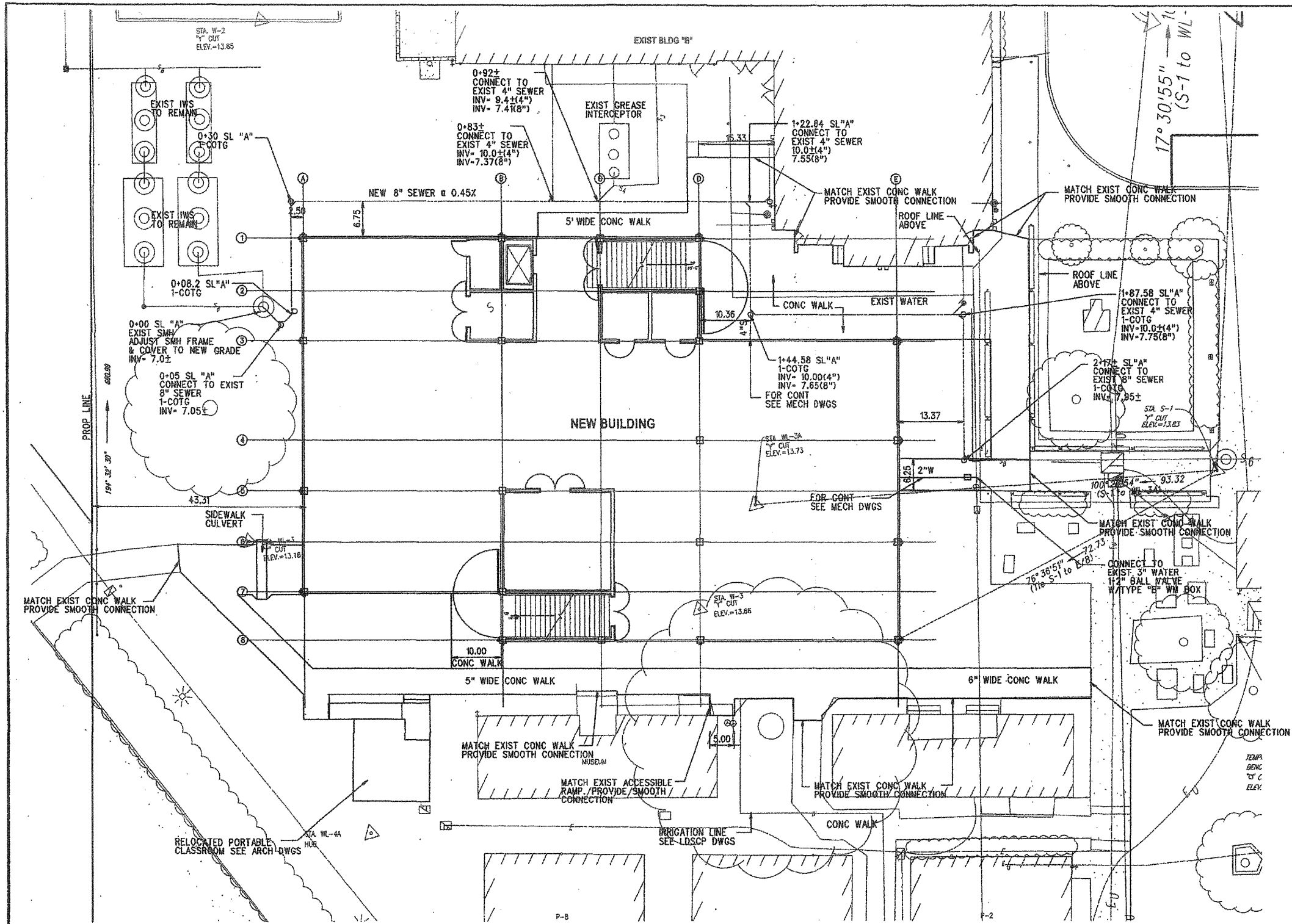
**B WEST ELEVATION**  
A-82 1/8" = 1'-0"



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SCALE: 1" = 10' N.P.E.  
 TRUE NORTH

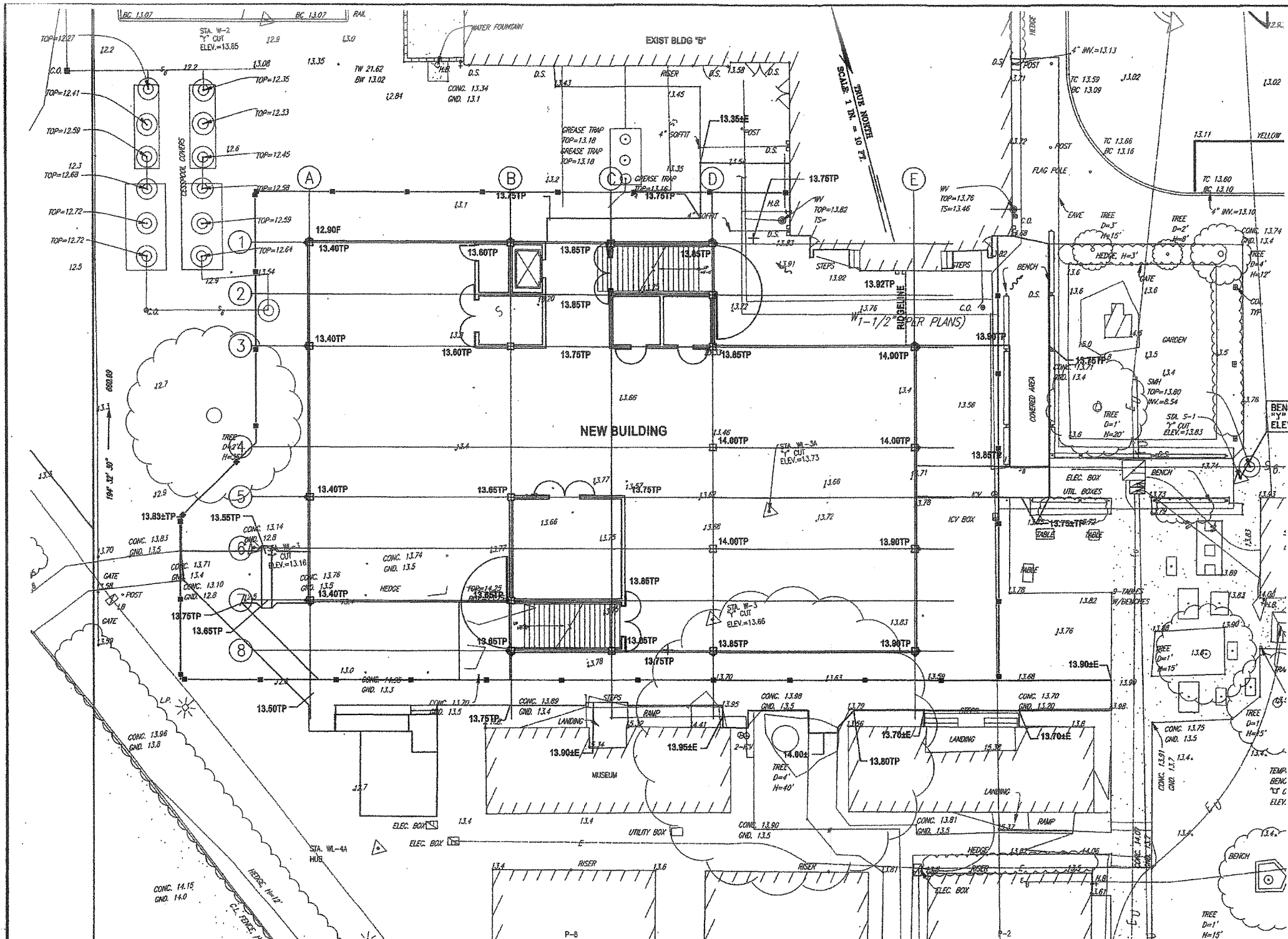
**SITE & UTILITY PLAN**  
 SCALE: 1" = 10'

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| SITE AND UTILITY PLAN                                |  |                   |
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| DRAWN BY:<br>KHMA                                    | APPROVED BY:<br>[Signature]                        | DATE:<br>MAY 2010 |
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|  |  |                   |

Figure 7



**GRADING PLAN**  
SCALE: 1" = 10'

**EARTHWORK SUMMARY**

EXC= 15 C.Y.  
 EMB= 30 C.Y.  
 AREA TO BE GRADED= 0.13 AC  
 AREA TO BE GRUBBED= 0.20 AC  
 AREA DISTURBED= 0.48 AC  
 NOTE: QUANTITIES SHOWN ARE FOR GRADING PERMIT PURPOSES ONLY AND DO NOT INCLUDE TRENCH OR STRUCTURAL EXCAVATION AND BACKFILL. THE CONTRACTOR SHALL VERIFY ALL EARTHWORK QUANTITIES.

**GRUBBING NOTES**

- ALL GRUBBING WORK SHALL BE DONE IN ACCORDANCE WITH CHAPTER 14, ARTICLES 13, 14, 15 AND 16, AS RELATED TO GRUBBING, SOIL EROSION AND SEDIMENT CONTROL, OF THE REVISED ORDINANCES OF HONOLULU, 1990, AS AMENDED, AND SOILS REPORT BY HIRATA & ASSOCIATES, INC., DATED APRIL 22, 2008.
- NO CONTRACTOR SHALL PERFORM ANY GRUBBING OPERATION SO AS TO CAUSE FALLING ROCKS, SOIL OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS NECESSARY.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 60.1, "AIR POLLUTION CONTROL".
- ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE SITE.
- ALL GRUBBED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
- NO GRUBBING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE DIRECTOR, D.P.P. PROVIDED SUCH GRUBBING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS CONTAINED IN THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 46, "COMMUNITY NOISE CONTROL".
- THE LIMITS OF THE AREA TO BE GRUBBED SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRUBBING WORK.
- ALL GRUBBING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE WATER QUALITY AND WATER POLLUTION CONTROL STANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 64, "WATER QUALITY STANDARDS", AND TITLE 11, CHAPTER 55, "WATER POLLUTION CONTROL", AND IF APPLICABLE, THE NPDES PERMIT FOR THE PROJECT.
- WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE ANY GRUBBING WORK IS INITIATED.
- TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN PLACE AND ESTABLISHED.
- IF THE GRUBBING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRUBBING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.

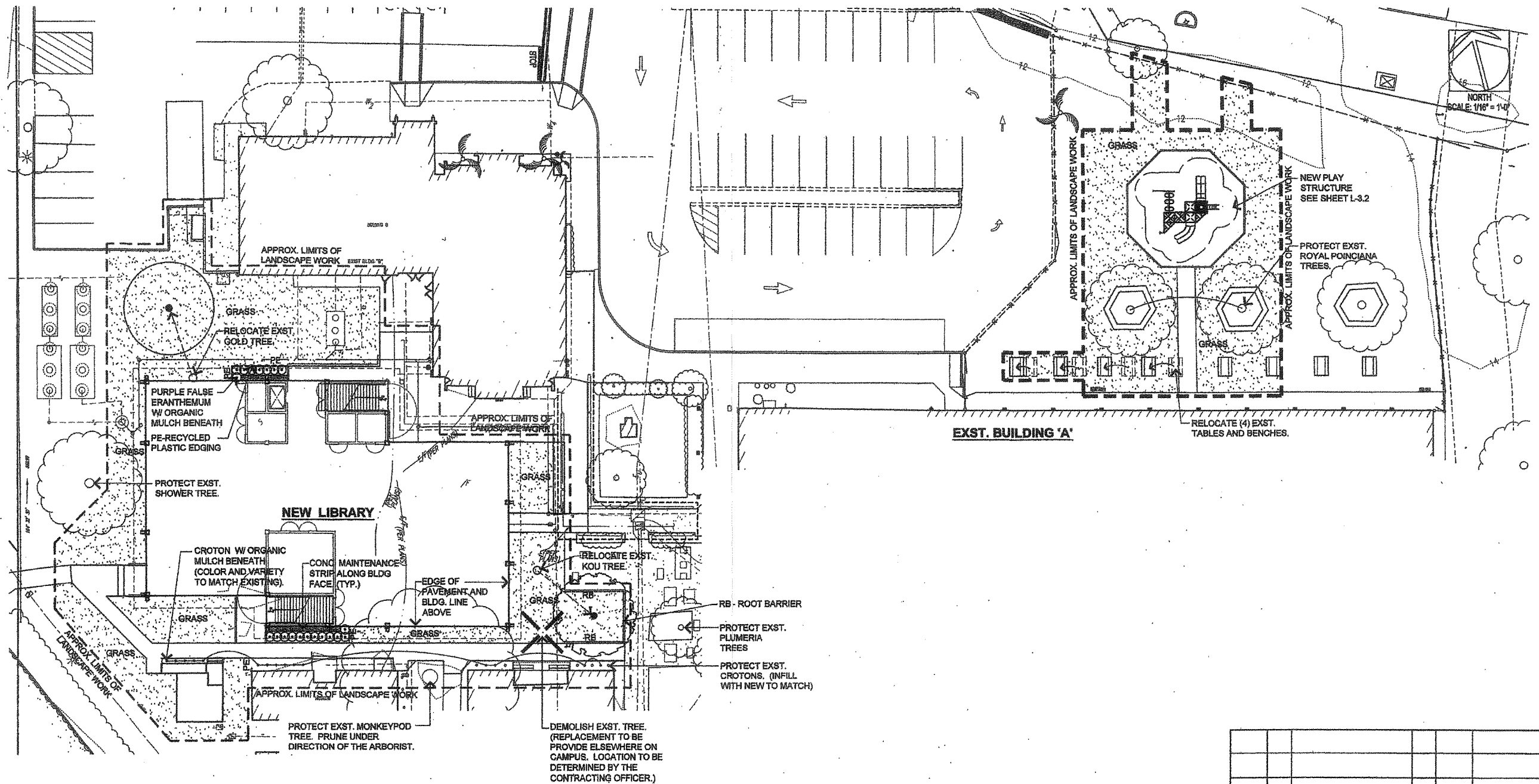
**LEGEND**

- 10.4, 10.4E SPOT ELEVATION EXISTING
- 10.10 P SPOT ELEVATION FINISH TOP PAVEMENT
- 10.10TP SPOT ELEVATION TOP PAVEMENT
- 11.0 F SPOT ELEVATION FINISH GROUND
- CONSTRUCTION ACCESS, 28"x20" THICK, #2 ROCK
- LIMITS OF DISTURBED AREA
- LIMITS OF GRUBBING
- LIMITS OF GRADING
- SILT FENCE
- PROPERTY LINE

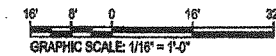
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| <b>GRADING PLAN</b>  |                     |  |                            |
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| DRAWN BY:<br>KHMA    | APPROVED BY:        | SCALE:<br>AS NOTED                                 | SHEET<br>8<br>OF 12 SHEETS |

Figure 8



**LANDSCAPE PLANTING PLAN**  
SCALE: 1/16" = 1'-0"



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| <b>LANDSCAPE PLANTING PLAN</b>  |  |                          |   |                     |  |
| LICENSE EXP. 04/30/2012<br>THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION<br><i>Michael T. Miyahara</i> |  | DESIGNER/ARCHITECT<br>MA | CHECKED BY<br>MA                                  | DATE<br>10 MAY 2009 | DRAWING NO.<br><b>L-22</b><br>SHEET<br>19 OF 12 SHEETS |

### A. Existing Uses and Structures

The present Waialua Elementary School has been at its current location since 1966. Prior to that year, the school was located on Hale'iwa Beach Road on the site of the existing Hale'iwa Elementary School. The school was renamed Hale'iwa Elementary School sometime after Waialua Elementary School opened its doors. The first school building, identified as Building "A" housed the school office, classrooms, and the library. In 1969, Building "C" was constructed with ground floor space for a library. The library has occupied the same space since that time.

The approximately 3,500 square foot facility houses a collection of approximately 14,000 books with several computer stations for research use and test taking. The existing library is open on school days from 7:30 A.M. to 2:50 P.M. On some weekends during the school year the facility is used for upper grade level "sleepovers".

Principal components comprising the school's facilities include four permanent structures (3 two-story buildings and one cafeteria / dining room) and nine portable classroom structures. Accessory facilities include off-street parking, a paved play court, play apparatus, custodial closets, storage closets, and electrical rooms. Unique to the school and fronting Building "A" is a Filipino cultural garden built by a local community organization. Called "Nipa Hut" the garden features a miniature plantation dwelling, stacked stones, and decorative plantings.

The site of the Library is on the western edge of the campus in a space bounded by the school cafeteria and dining room (Building "B"), Building "A", portable buildings, and tennis courts at Waialua District Park. The site was previously in open space with a play structure erected for recreational use.

For school year ~~2012-2013~~ **2017-2018**, the Department of Education (2014) reported a school enrolment of ~~564~~ **543** students in grades Kindergarten to 6 including Special Education students. The design enrollment is 600 students.

Staffing at the school includes one principal, one vice-principal, clerical staff, teachers, resource persons, cafeteria staff, and custodial staff.

### B. Climate

The climate of Waialua Town can be characterized as mild and dry throughout the year. Temperatures are indicative of Hawaii's semi-tropical climate with temperatures averaging 80° F with lows in the mid 60s during the winter months to highs near 90° F from May to September. Annual rainfall averages less than 40 inches (Atlas of Hawaii, 1998) with more than half the rainfall occurring during the winter months. The prevailing winds, as elsewhere in Hawaii, are the northeast trade winds.

### C. Topography

The site has been graded, paved, built on, and landscaped and grassed since 1972. Ground elevation ranges between 13 to 14 feet above mean sea level. Although relatively



flat, the terrain slopes slightly from south to north and towards the district park on the west and school buildings on the east.

#### **D. Soils**

The Soil Conservation Service (1972) soil map for the area identifies two soil types--- Waialua silty clay (WkA) and Ewa silty clay loam (EmA) --- over the entire property. Waialua clay is a shallow well-drained soil found on the smooth coastal plain. The surface layer is about 12 inches thick and the sub soil about 26 inches deep. This soil is moderately permeable, the erosion hazard is no more than slight, and runoff is slow.

Ewa clay is a shallow soil with a depth to limestone of about 20 to 50 inches. Runoff is very slow and the erosion hazard is no more than slight.

Extensive site improvements over time have blurred the distinctions between soil types. More than likely the surface soil is a mixture of the prevailing soil types, imported engineered fill, and imported topsoil.

#### **E. Land Type/ALISH**

The Land Study Bureau (1972) Detailed Land Classification maps and publications provide an analysis of lands and their suitability for agricultural production. A range of factors including soils, geology, topography, climate, and water resources were analyzed and a rating scheme for assessing overall agricultural productivity developed. Lands are classified from "A" to "E" according to their agricultural suitability with "A" indicating a master productivity rating of very good, and "E" indicating a rating of very poor for agricultural uses.

Waialua Elementary School is classified "U" for Urban (See Figure 10). Class "A" agricultural land is located directly to the east (along Ki'iki'i Stream) and north of the school across Waialua Beach Road.

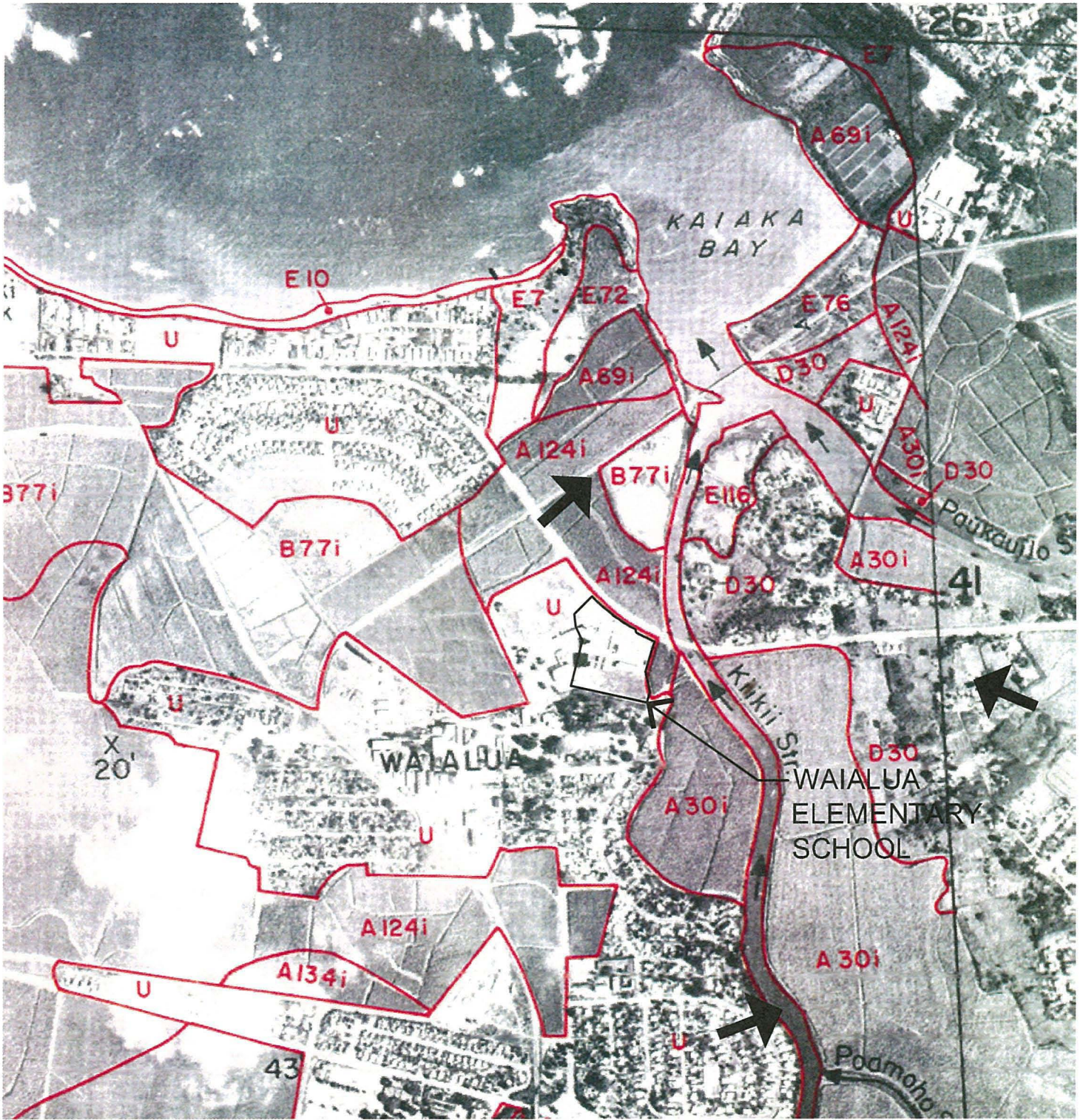
The State Department of Agriculture (1977) has prepared Agricultural Lands of Importance to the State of Hawaii (ALISH) maps to determine the agricultural importance of agricultural property within the State of Hawaii. The ALISH maps identify and rate agriculture land into three categories of descending importance: Prime, Unique, and Other Important Agricultural Lands.

Waialua Elementary School is not located on agricultural land rated important to the State of Hawai'i (See Figure 11).

*The O'ahu Important Agricultural Lands Study Phase I (HHF, 2014) identifies the property as possessing one of the top three priority criteria for agricultural land rating (Figure 4-15 Composite Map of the Top 3 Priority Criteria). The three criteria are 1) sufficient quantities of water, 2) currently used for agricultural production, and 3) soil qualities and growing condition. The high composite rating appears to be based on "soil qualities and growing conditions".*

#### **F. Hydrology**

The southern portion of Hale'iwa is underlain by the Waialua basal water aquifer system and the northern half by the Kawailoa basal water aquifer system. The dividing line between



Source: Detailed Land Classification - Island of O'ahu  
 Land Study Bureau, University of Hawai'i,  
 December 1967

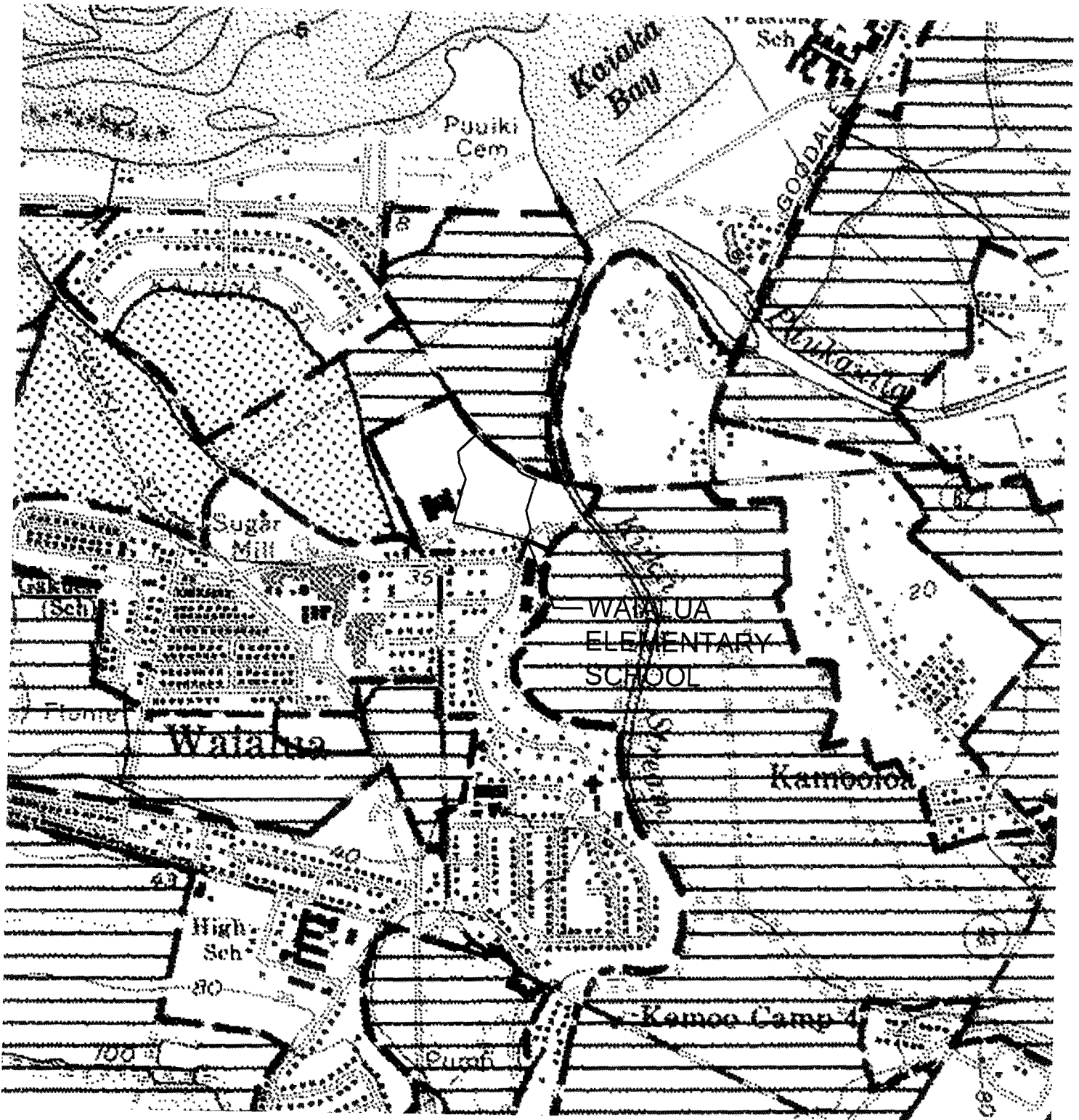
**Legend**

- A Highly Productive Lands
  - B
  - C
  - D
  - E Lowest Productive Lands
- ↓






Portion of Kamananui, District of Waialua, O'ahu

**Figure 10**  
 Detailed Land Classification  
 Waialua Elementary School Library / Media Center



Source: Department of Agriculture, State of Hawaii, 1977.

**Legend**

-  Prime Agricultural Land
-  Unique Agricultural Land
-  Other Important Agricultural Land



Portion of Kamanani, District of Waialua, O'ahu

**Figure 11**  
 Agricultural Lands of Importance to the State of Hawaii  
 Waialua Elementary School Library / Media Center

both bodies is the deep valley fill of Anahulu Stream. Aquifer and groundwater information for the Waialua aquifer (Mink and Lau, 1990) is shown in Table 2.

**Table 2. Aquifer Classification**

| <b>Aquifer Code</b>                 | <b>30402116</b>                                  | <b>30402121</b>                                  |
|-------------------------------------|--|--|
| Island Code                         | 3 - Oahu   | 3 - Oahu   |
| Aquifer Sector                      | 04 - North                                       | 04 - North                                       |
| Aquifer system                      | 02 - Waialua                                     | 02 - Waialua                                     |
| Aquifer Type, hydrogeology          | 1 - Basal  | 1 - Basal  |
| Aquifer Condition                   | 1 - Unconfined                                   | 2 - Confined                                     |
| Aquifer Type, geology               | 6 - Sedimentary                                  | 1 - Flank  |
| <b>Status Code</b>                  | <b>12211</b>                                     | <b>12312</b>                                     |
| Developmental Stage                 | 1 - Currently Used<br>2 - Ecologically Important | 1 - Currently Used<br>2 - Ecologically Important |
| Utility                             | 2 - Low (250-1,000)                              | 3 - Moderate (1,000 -5,000)                      |
| Salinity (in mg/L Cl <sup>-</sup> ) | 1 - Irreplaceable                                | 1 - Irreplaceable                                |
| Uniqueness                          | 1 - High   | 2 - Moderate                                     |
| Vulnerability to Contamination      |  |  |

Source: Mink and Lau, 1990.

The Waialua aquifer is characterized by an unconfined sedimentary aquifer above a confined dike aquifer. The sedimentary aquifer is currently being used, low in salinity, and highly vulnerable to contamination. The dike-confined aquifer also is used for drinking water, moderate in salinity, and has a moderate vulnerability to contamination. Both aquifers are ecologically important.

There are no public water sources (wells) on the premises or in the immediate vicinity of the property.

Ki'iki'i Stream, one of three major streams flowing through Waialua Town, passes to the east of the school. The two other streams are Kaukonahua which joins Ki'iki'i to the south near Farrington Highway and Paukaula which confluences with Ki'iki'i to the north before discharging into Kaiaka Bay. A parcel of land separates the school from the stream.

### **G. Flood Hazard**





The Flood Insurance Rate Map ("FIRM") places most of the school site in Flood Zone "X" which is defined as "areas of 0.2% annual chance flood (Federal Emergency Management Agency, 2011)". The eastern edge of the school site however borders on Flood Zone "AE" which is defined as "Special Flood Hazard Zone Subject to Inundation by the 1% Annual Chance Flood; base flood elevation determined (Ibid)". The base flood elevation for Zone AE is estimated at 15 feet above mean sea level next to the school. The flood zone adjoins the Ki'iki'i Stream Floodway which is known to overtop its banks and flood property adjoining the floodway.

Flood hazard areas and designations are shown as Figure 12.



Source: Federal Emergency Management Agency Flood Insurance Rate Map Map Number 15003C0105H, Date: Jan. 19, 2011.

**Legend**

-  Special Flood Hazard Zone Subject to Inundation by the 1% Annual Chance Flood
-  Other Flood Areas
- Zone A No Base Flood Elevations Determined.
- Zone AE Base Flood Elevation Determined.
- Zone VE Coastal Flood Zone with Velocity Hazard (Wave Action); Base Flood Elevations Determined.
-  Floodway Areas in Zone AE
- Zone X Areas of 0.2% Annual Chance Flood; Areas of 1% Annual Chance Flood with Average Depths of Less than 1 Foot or with Drainage Areas Less than 1 Square Mile; and Areas Protected by Levees from 1% Annual Chance Flood.
-  Other Areas
- Zone X Areas Determined to be Outside the 0.2% Annual Chance Floodplain.



**Figure 12**  
Flood Insurance Rate Map  
Waialua Elementary School Library / Media Center

## H. Flora

Monkeypod (*Samanea saman*), shower (*Cassia sp.*), kou (*Cordia subcordata*), plumeria (*plumeria sp.*), and gold (*Tabebuia donnell-smithii*) trees are arrayed around the perimeter of the library site. Several trees were protected in place during construction and several relocated within the project limits. The trees are common to Hawai'i and none are proposed for rare, threatened, or endangered status.

## I. Archaeology

Construction of buildings, driveways and parking areas, landscaping (trees and grass), and school facilities in general have removed surface archaeological features if they previously were associated with the site. No evidence of archaeological or cultural features was observed on the ground surface.

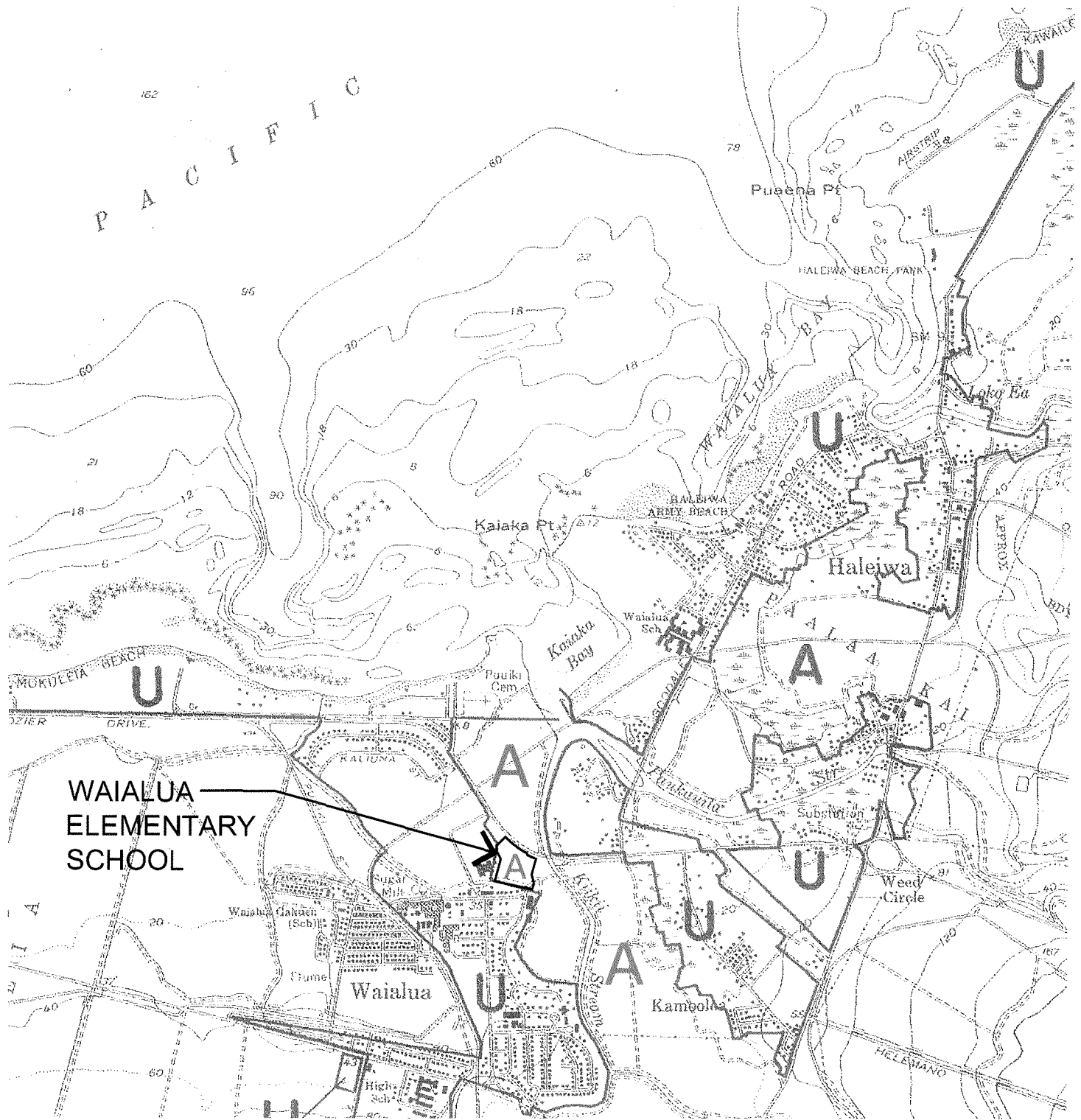
## J. Land Use Controls

The State Land Use Commission under the authority of Chapter 205, Hawai'i Revised Statutes classifies all land in the State of Hawaii as Agricultural, Conservation, Rural, and Urban. Uses in the Agricultural District are regulated by the Land Use Commission; uses in the Conservation District by the Board of Land and Natural Resources, uses in the Rural District by the Land Use Commission, and uses in the Urban District by the respective county government. The zoning powers of the respective counties also govern uses in other than the Conservation District.

- Most developed areas in Waiialua Town are classified Urban by the State Land Use Commission. As shown on Figure 13, Waiialua Elementary School is classified Agricultural and bounded by Urban districts on the west and south. Public institutions and buildings, such as public schools, are not expressly allowed in the State Agricultural district unless necessary for agricultural practices (Chapter 205-4.5 (5)). A non-agricultural use such as a public school is not strictly prohibited in the Agricultural district but can be allowed by Special Permit. An alternative to a Special Permit in this case is to seek to amend the land use district from the Agricultural to the Urban district.

Although classified Agricultural, the use of land comprising Waiialua Elementary School is under the authority of the City and County of Honolulu and its applicable plans, ordinances, and regulations. City land use policies and controls for O'ahu are vertically aligned or tiered for managing growth and land uses beginning with the General Plan for the City and County of Honolulu ("General Plan"), community development plans and sustainable community plans, and zoning. Special districts and special management area rules provide supplementary controls for defined areas where man-made features and natural resources should be protected and managed.

- The General Plan for the City and County of Honolulu ("General Plan") is the first tier. It sets forth broad objectives and policies in eleven functional areas such as Economic Activity, Natural Environment, Energy, Physical Development and Urban Design, and Public Safety. The Population component and its objectives and policies are key to managing growth. The component establishes a population distribution pattern for eight geographic regions comprising the county. Each region has an upper and lower limit (percentage) of the island wide population for a



Source: State Land Use Commission, Oahu O-4, Haleiwa Quad.

Legend

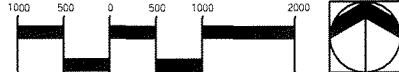
State Land Use

U Urban

A Agricultural

Gerald Park  
Urban Planner  
July 2012

LINEAL SCALE (FEET)



Portion of Kamananui, District of Waialua, O'ahu

Figure 13  
State Land Use Districts  
Waialua Elementary School Library / Media Center

targeted year (currently 2025). The general plan also includes General Plan Development Pattern map depicting the eight districts and the desired development pattern for and within the respective district.

Waiialua is part of the North Shore region of the island and the development pattern is to maintain developed areas within the district as “Rural”.

Development Plans or Sustainable Communities Plans prepared for the eight geographic regions in the County comprise the second tier. Although encompassing eight regions where each area’s values, vision, and policies for accommodating growth are different, the plans collectively support the General Plan. The North Shore Sustainable Communities Plan (2005, 2011) 1) describes the role of the North Shore in Oahu's development pattern, 2) articulates a vision for the North Shore's future, 3) prescribes policies, planning principles, and guidelines for land use and infrastructure, and 4) identifies measures for implementing the plan.

The North Shore SCP reaffirms the Rural designation of the General Plan. The Plan acknowledges that growth will take place and establishes a Community Growth Boundary spanning the entire district. The boundary identifies areas where growth and infill can occur (inside the boundary) and areas where agriculture, open space, and natural resources should be maintained and preserved (areas outside the boundary).

- Waiialua Elementary School and most of Waiialua Town are inside the Community Growth Boundary.

The Plan identifies the area centered about Goodale Avenue and Kealohanui Street as the town “core” and designates it Country Town. This designation is intended to maintain a rural “small town” character and to promote compact town development (DPP, 2011).

This designation is described as a type of commercial area characterized by compactness, small scale, and mix of different land uses located in close proximity to each other. The Country Town designation would allow a mix of commercial, residential, and compatible industrial uses (such as small product or clothing manufacturing and assembly) with policies and guidelines to ensure that the scale and character of future renovation, redevelopment or other new construction reflects the towns' historical character and the region's rural landscape.

- Waiialua Elementary School is not located within the town “core”.

The Plan also posits land use policies and guidelines applicable to all public schools in the North Shore district. Policies for this project are:

- Provide and maintain quality school facilities that serve the needs of the community
- Integrate school facilities with other community uses.

Zoning comprises the third tier of the City's land use management system. As shown on zoning maps for the county, land is zoned by use and density (for example AG-1 Restricted Agriculture with a minimum lot size of 5 acres). The Land Use Ordinance (which incorporates the zoning maps) prescribes the types of uses permitted in zoning districts and associated development standards. The LUO also establishes



requirements for parking, specific use standards, signs, development in flood districts and special districts, and administration and enforcement procedures.

- The school property is zoned AG-1 Restricted Agriculture (See Figure 14). Public uses and structures are permitted in the zoning district pursuant to Article 3, Table 21.3 Master Use Table of the Land Use Ordinance, City and County of Honolulu.

Waiialua Elementary School is also located in the County delineated Special Management Area (See Figure 15). The Special Management Area (“SMA”) is defined as land extending inland from the shoreline supporting valuable coastal resources that need to be preserved, protected, and where possible restored. Development in the SMA is regulated by the City and County of Honolulu through Chapter 25, Special Management Area, Revised Ordinances of Honolulu.

- The school is located within the Special Management Area. Based on the estimated **final** construction cost of ~~\$3.6~~ **\$5.9 million** a SMA Use Permit will be required.

The Haleiwa Special District was established in 1985 and codified in the LUO as Article 9, Section 21-9.90. The special district comprises the geographic area from Weed Circle on the south to Hale‘iwa Beach Park on the north. In general the ordinance identifies significant public views and establishes design controls for building heights, yards, landscaping, off-street parking, and architectural character for Hale‘iwa Town.

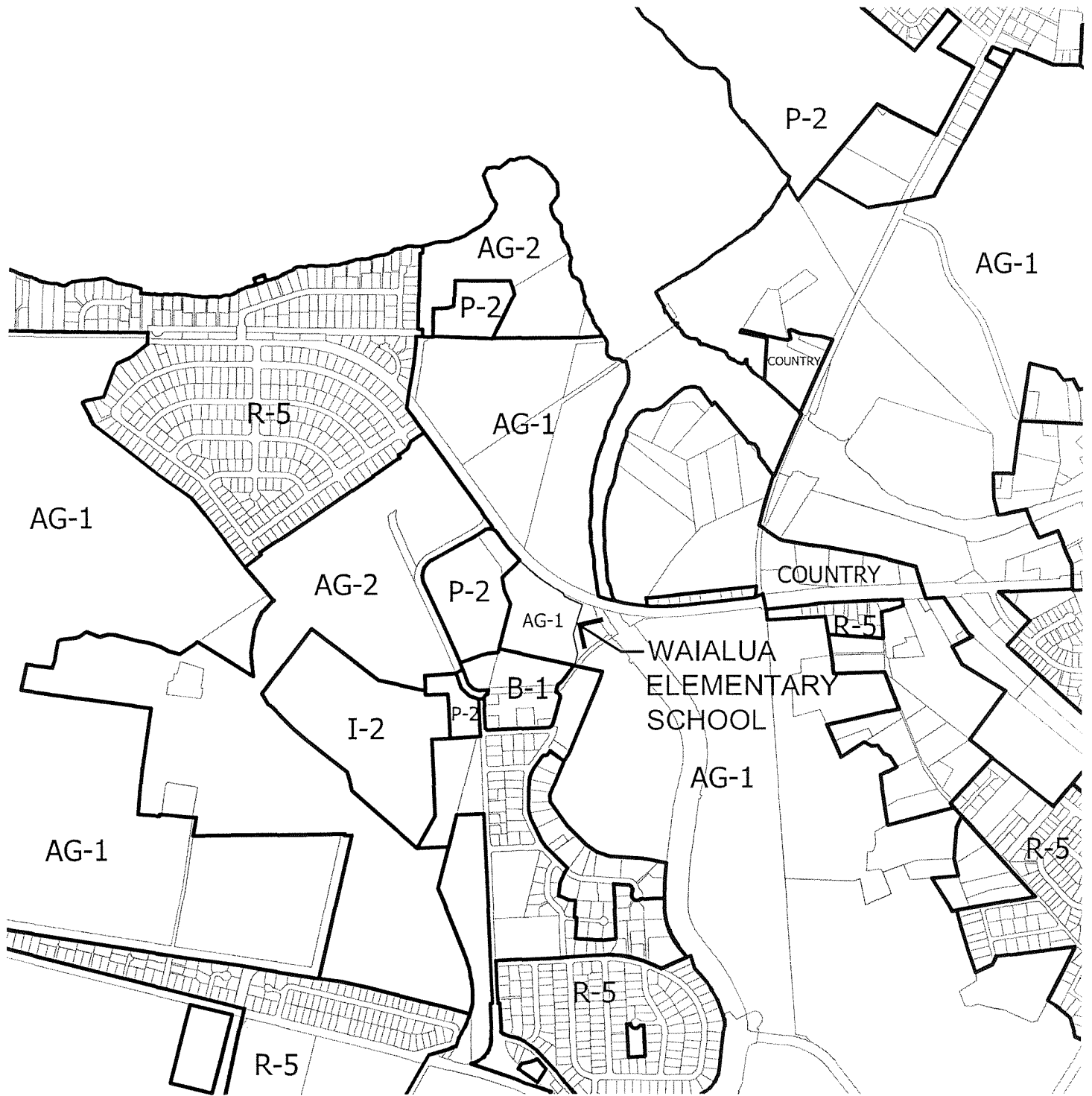
- The town of Waiialua is outside the special district boundary and special district controls do not apply.

Prepared in 2005, the Waiialua Town Master Plan (Group 70 International) prescribes a long-term process for revitalizing Waiialua Town through broad economic initiatives and social and aesthetic actions. The Plan talks about a Waiialua Town Center generally bounded by and including the Waiialua Shopping Center, the old sugar mill, the community park with the bandstand, and activities along Kealohanui Street. Revitalizing the town core is essential to attracting economic activities and some increase in population.

Covering an area larger than the Waiialua Town Center Plan, the Waiialua Area Plan features a strong but diverse residential component. Alternative residential strategies are proposed around the Town Center to include residential infill in existing residential areas, rural residential uses, mixed use residential, and agriculture clusters (farm lots with clustered housing). A visitor lodge also is proposed on the shoreline at Kaiaka Bay.

- Waiialua Elementary School is beyond the boundaries of and not expressly discussed in the Town Center Plan. The Plan, however, proposes locating several government / civic facilities in the vicinity of Waiialua District Park and Goodale Avenue. The facilities include a new fire station, public library and community center, and off-street parking. Off-street parking also is proposed behind the school generally parallel with Kealohanui Street. The school’s location would help to solidify the concept to co-locate government and community functions at this location.

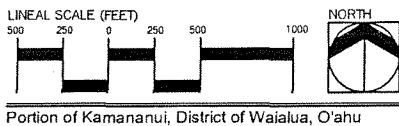
Unlike State and County land use controls described above, the Waiialua Town Master Plan does not have the force of law.



Source: Hawaii Statewide GIS Program Website & City & County of Honolulu (DPP) Website

Legend

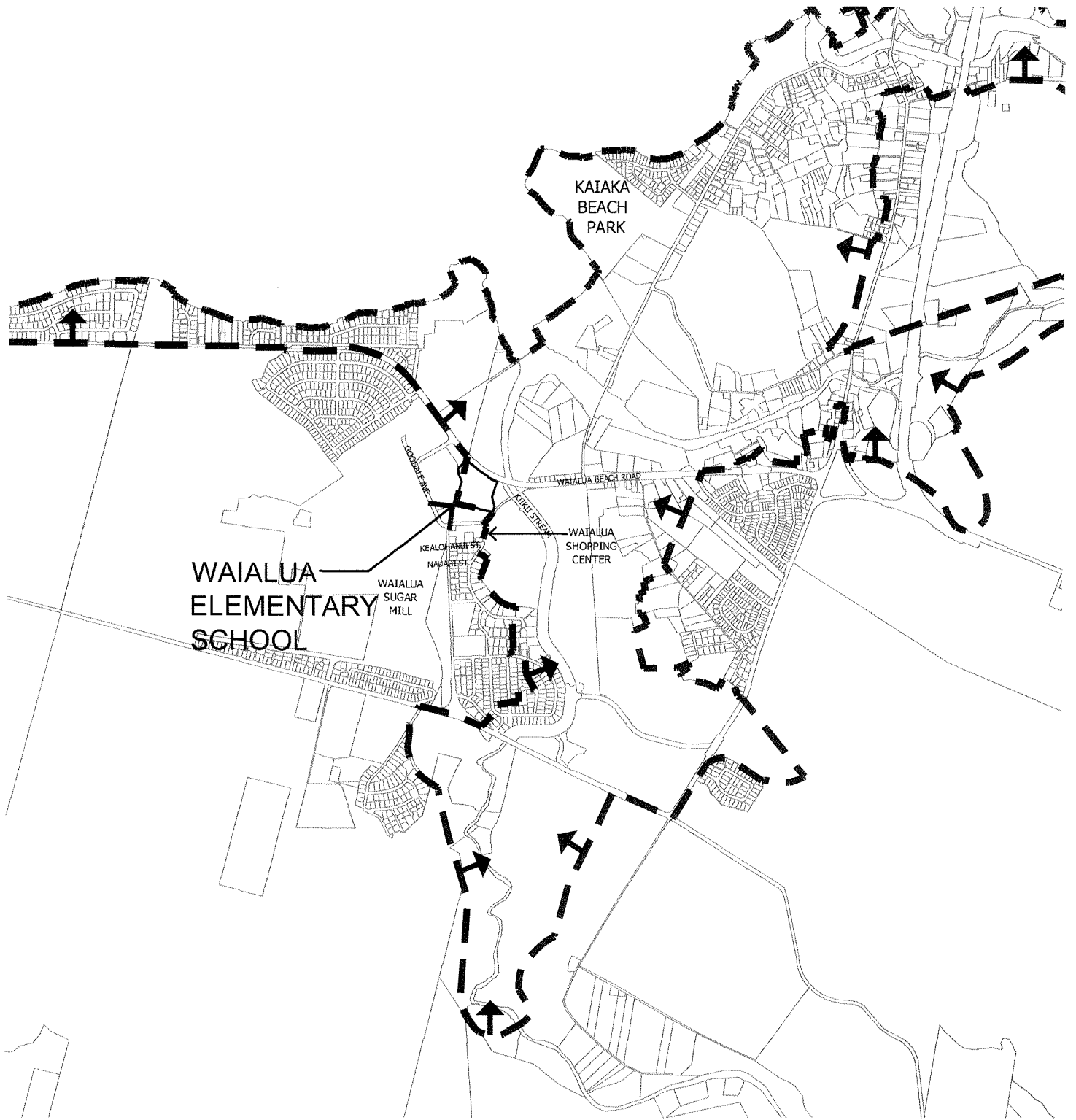
|      |                                     |         |                      |
|------|-------------------------------------|---------|----------------------|
| R-5  | RESIDENTIAL (5,000 SF. LOT MINIMUM) | COUNTRY | COUNTRY DISTRICT     |
| B-1  | NEIGHBORHOOD BUSINESS DISTRICT      | P-2     | GENERAL PRESERVATION |
| AG-1 | RESTRICTED AGRICULTURAL DISTRICT    |         |                      |
| AG-2 | GENERAL AGRICULTURAL DISTRICT       |         |                      |



Portion of Kamananui, District of Waialua, O'ahu

Figure 14  
Zoning  
Waialua Elementary School Library / Media Center

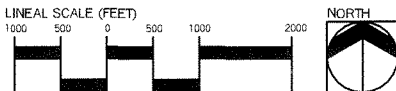
Department of Education, State of Hawai'i



Source: Hawaii Statewide GIS Program, <http://hawaii.gov/dbedt/gis/download.htm>

**Legend**

 Special Mangement Area



Portion of Kamananui, District of Waialua, O'ahu

**Figure 15**  
**Special Management Area**  
**Waialua Elementary School Library / Media Center**

## **K. Public Facilities and Services**

Waiialua Elementary School fronts on approximately 250 feet of Waiialua Beach Road. The two-lane, two-way, undivided, paved road lies within an 80-foot right-of-way. The posted speed limit is 25 mph. Street lights on the *makai* side of the road illuminate the roadway.

The road is without curbs and gutters but features a 10-foot wide walkway within the *mauka* side of the right-of-way. The paved asphalt concrete walkway is wide enough to be shared by pedestrians, joggers, and bikers. In general, the walkway extends between Goodale Avenue and Ki'iki'i Stream.

Two driveways provide one-way ingress / egress into the school's parking lot from Waiialua Beach Road. The inbound driveway is primarily a right turn only into the school parking lot and shares a bus lane taper for a bus shelter fronting the school. A left turn stacking lane or deceleration lane into the parking lot is not striped on Waiialua Beach Road. A second driveway with left and right turn lanes is for outbound traffic only. A third driveway on the east end of the school provides access to buildings at the rear of the school.

The Route 76 bus provides public transportation between Haleiwa and Waiialua Towns. A covered bus shelter is located in front of the school for eastbound passengers and a bus bench is located opposite the shelter for westbound passengers.

Water is available from an existing 12" Board of Water Supply main in Waiialua Beach Road. A section of the water line lies within a 10-foot wide easement crossing the northeastern corner of Waiialua District Park. An application for water connection will be submitted to the Board of Water Supply during the design stage of the project.

There is no municipal sewer system serving the town of Waiialua. Wastewater is discharged into two separate individual wastewater treatment systems. One system is located near the site of the library and the other at the rear of the school near Building "D". Estimates of average daily wastewater flow are not available.

Electrical and telephone service are provided from the overhead distribution system on the *makai* side of Waiialua Beach Road. Electrical distribution lines within the school are placed underground.

Police protection originates from the Wahiawā Police Station in the town of Wahiawā about 10 miles to the southwest. Fire protection is provided from the Hale'iwa Fire Station located about one mile away on Hale'iwa Beach Road.

Waiialua District Park, a city park, adjoins Waiialua Elementary School on its western side. The 12.8 acre park provides facilities for indoor and outdoor recreation activities. A partial list of facilities includes a swimming pool and training pool, recreation building/gymnasium, 4 tennis courts, a baseball field, a softball field, a basketball/volleyball court and open fields. Most of the outdoor facilities are lighted for night use.

Waiialua Elementary School students have been observed recreating on an open field during recess. The open field is beyond right field of the baseball field.

### 3

## SUMMARY OF POTENTIAL ENVIRONMENTAL IMPACTS AND MEASURES TO MITIGATE ADVERSE EFFECTS

---

The scope of the project was discussed with the consulting architect, members of the design team, and staff of the Facilities Development Branch, Department of Education. State and County agencies were contacted for information relative to their areas of expertise. Time was spent in the field noting post-construction conditions of the building site and in the vicinity of the school.

### **A. Short-term Impacts**

Construction of the Waiialua Elementary School Library / Media Center has been completed. Because the facility is already a standing structure, short-term construction related actions and subsequent environmental impacts associated directly with its construction are considered moot.

Although construction of the building has been completed, the Honolulu Fire Department and Hawaiian Electric Company requested additional improvements for their respective services. Potential impacts resulting from these two improvements are discussed below.

Construction of a fire service line will generate noise and dust along the planned route. Portions of a lawn and asphalt pavement within the parking lot will be excavated. The lawn area will be fenced around the construction site and closed for use for the duration of construction.

Construction will temporarily affect ambient air quality. Site work activities will raise fugitive dust that can settle in adjoining areas. Site work will be limited to the area of new construction structure this should aid in mitigating dust generation and controlling dust. The general contractor will employ on and off-site dust control measures to prevent work site and construction equipment and activities from becoming significant dust generators. Control measures shall comply with Chapter 60.1, Air Pollution Control, Title 11, State Department of Health (and revisions thereto).

Most construction equipment and vehicles are diesel powered and emit exhaust emissions typically high in nitrogen dioxide and low in carbon monoxide. The Federal and State nitrogen dioxide standard ---100mg/m<sup>3</sup> per annum---which is an annual standard, is not likely to be exceeded during construction. Carbon dioxide emissions should be less than that generated by automobile traffic on adjoining streets. Aldehyde odors from diesel equipment may be detected but should be dispersed by the prevailing winds.

Like fugitive dust, construction noise cannot be avoided. Exposure to noise will vary by construction phase, the duration of each phase, and the type of equipment used during the different phases. Maximum sound levels in the range of 82-96 db(A) measured at 50 feet from the source would be generated by heavy machinery during site work. After site work is completed, reductions in sound levels, frequency, and duration can be expected.

Schools are considered noise sensitive areas. Building "A", a two-story permanent classroom building, is located about 100 feet from the fire service line construction route and the school cafeteria about 20 feet.. Noise will be audible inside the classroom building and the school's administrative office also located in Building "A" and the cafeteria.

Building "A" is constructed of cement masonry unit walls which can effectively aid in noise mitigation but open (or closed) wood louver windows facing the work site will allow outside noise into the classroom. The cafeteria also is constructed of cement masonry unit walls and open windows and doors also will allow outside noise into interior areas. Construction noise will be audible inside the cafeteria but should be "masked" by kitchen related noise and student sounds during meals.

Construction of the fire service line will proceed along a pre-determined route so that noise will not be generated at a single location. In addition, a one-month construction period should limit noise to a short period of time.

Community Noise Control regulations (Chapter 46 Noise Control for Oahu) establish maximum permissible sound levels for construction activities occurring within "acoustical" zoning districts. Based on the agricultural zoning for the site, the project is classified as a Class C zoning district for noise control purposes. The maximum permissible daytime (7 a.m. to 10 p.m.) sound level in the district is 70 dBA during day and night hours for stationary noise sources and equipment related to construction (Chapter 46, Community Noise Control, 1996). Any noise source that emits noise levels in excess of the maximum permissible sound levels cannot be operated without first obtaining a noise permit from the State Department of Health. Although the permit does not attenuate noise per se it regulates the hours during which excessive noise is allowed. The contractor will be responsible for obtaining and complying with conditions attached to the permit.

The use of parking stalls along the fire service line route may be temporarily suspended and alternate parking provided elsewhere until construction through the parking lot is completed. The contractor will consult with Department of Education staff and school administrators on how to best mitigate circulation and parking impacts during school hours. Access to/from Kamehameha Highway will be maintained at all times and a flagperson posted to marshal vehicles around the construction trench. Steel plates will be placed over excavated areas during non-construction hours for access and safety purposes. To the extent practical working hours will be scheduled to avoid student drop off and pick-up times over the school week. A time / work schedule will be developed in consultation with school administrators. Work may be scheduled when school is not in session as another mitigating measure.

Although limited in area, site work for the fire line will expose soil thus creating opportunities for erosion (fugitive dust and suspended sediment in construction related runoff). Earthwork quantities are estimated at 160 cubic yards of excavation and 98 cubic yards of trench backfill. Trenching and stockpiling excavated or imported material will be performed in accordance with Chapter 14, Article 14 of the Revised Ordinances of Honolulu, 1990, as amended. Furthermore, the work shall be done in accordance with the Rules Relating to Soil Erosion Standards and Guidelines.

Best Management Practices (BMPS) for erosion and storm drainage control during construction will be incorporated into grading plans. Examples of BMPs include but are not limited to erecting silt fences around the work site, placing absorbent socks at paved areas to minimize petroleum products from flowing offsite, and constructing stabilized construction

access pads at the parking lot driveways. The contractor may implement other BMPs based on field conditions and their experience in working with similar work sites.

Site work will not exceed one acre thus a NPDES General Permit Authorizing Discharges of Storm Water Associated with Construction Activity will not be required from the State Department of Health.

Best Management Practices will be implemented pursuant to City and County of Honolulu Rules Relating to Storm Drainage Standards, Section II, Storm Water Quality.

Areas disturbed by construction will be restored to pre-construction conditions or better.

Construction vehicles hauling workers and material will contribute to traffic on roads leading to the school and on Waialua Beach Road fronting the school. Material deliveries will be scheduled to minimize impacts on local traffic. Material unloading will occur on-site so as not to interfere with traffic circulation on Waialua Beach Road.

## **B. Long-term Impacts**

The library will replace an undersized library that has served Waialua Elementary School circa 1969. The new facility will allow library staff to expand the range of library functions and improve conditions for students and staff. Anticipated benefits include:

- Increase the collection for students and faculty.
- Expand curriculum materials for faculty.
- Expand learning opportunities for students.
- Provide comfortable, air-conditioned interior space.
- Provide a larger work area and storage space for library materials.
- Provide a media wing for video and media production.

The Library / Media Center will provide students, teachers, and parents a modern, spacious learning environment that is more than a repository for grade level books, associated reading material, and a place for reading and research. The existing library serves as a gathering place for upper grade students on selected weekends (sleepovers), a place for on line test-taking, storytelling, and tutoring. These activities are expected to continue and new activities introduced where the library functions as a focal place for the school.

***The old library space continues to be used as a gathering place for students and for tutoring. The space also accommodates student exhibitions and presentations.***

Back of house functions for receiving and cataloguing materials, work areas, storage space, and a librarian's office will benefit staff and overall library operations.

The Media Center will engage students in learning computer skills and introduce students to video and multi-media production. The dual curricula and "hands-on" training can provide elementary students basic skills that can be applied within the school and community. With knowledge of basic computing and multi-media skills students can expand their interest in said curricula at middle school, high school, and post high school levels.

The structure will be entire enclosed and air conditioned to help reduce the introduction of outside noise. Air conditioning motors, compressors, and chillers will be placed on the ground level in an enclosed mechanical room for noise attenuation. Machinery sounds may be faintly audible in “back of house areas” on the second level above the mechanical room but should neither adversely interfere with nor disturb activities conducted therein.

Associated with these anticipated benefits are costs associated with operating and maintaining a larger facility. ~~Apart from a **Two persons (a full-time librarian and aide) currently staff the library.** the need for additional staff will be determined at a later time.~~ Student helpers and community / parent volunteers can aid in reducing operating costs.

Energy costs may increase because the building will be air conditioned. In addition to providing for the comfort of students and staff, air conditioning will dehumidify the building to reduce mold and mildew from forming thus prolonging the life of the collection and electrical and electronic equipment.

Increases in energy costs can be mitigated by incorporating natural lighting, energy efficient light fixtures, and high-efficiency air conditioning units into the design of the structure and its utility systems. Water use will be reduced by installing low flow plumbing systems.

***The Board of Water Supply stated that “[T]he existing water system is adequate to accommodate the proposed elementary school addition”. The final decision on the availability of water will be confirmed when the building permit application is submitted for approval (Board of Water Supply Comment).***

An increase in average daily wastewater flow is not anticipated only the source of flow. Wastewater from the entire school discharges into wastewater systems at two separate on-campus locations. A wastewater line from Building “B” (where the existing library is located) connects to the IWS near the new library building. Based on maximum occupancy for the library and media center average daily flow is estimated at 1,540 gallons per day. The IWS near the new library will receive the discharge and continue to receive flows from facilities connected to the IWS. In the long-term, increases in wastewater flow will depend on increases in student enrollment.

A private hauler will collect and transport solid waste to approved disposal facilities. Solid waste quantities generated by administrative and library functions have not been determined.

There are no identified significant views or view planes to and from the campus. The entire library will not be readily visible from Waialua Beach Road and Goodale Avenue as the cafeteria building will obstruct most views of the ground floor and sections of the second floor. The roof will be visible as it rises above the cafeteria building. Trees on the west side of the school will partially screen the library from the District Park, Goodale Avenue and the eastbound approach on Waialua Beach Road. Over time, the library will blend architecturally with the other buildings and facilities as part of the built-up campus setting.

The upper floor and roof will be visible from outdoor recreation facilities and at certain locations at Waialua District Park. The structure should neither interfere with play nor cast shadows on the courts.



***The Department of Parks and Recreation commented that that the proposed project will have no impact on any program or facility of the Department (Department of Parks and Recreation Comment).***

The new Library / Media Center will not affect existing City and County of Honolulu land use controls for the property and school. School use is a permitted use under the current County zoning although the property is zoned AG-1 Restricted Agriculture. The property is also located in the Special Management Area and a Special Management Area Permit will be required albeit post-construction.

Waialua Elementary School, however, is not an agricultural use and thus not permitted in the State land use agricultural district. Since construction of the school commenced in 1966, the land use district boundary was neither amended nor a Special Permit sought to allow for school use. The Department of Education ***will seek a Special Permit*** [request a land use district boundary amendment to the Urban district] for the entire property to correct this oversight. [In the long term a land use district boundary amendment will bring the use of the property for a public school consistent with applicable land use controls.]

***The project should have no significant impact on the services or operations of the Honolulu Police Department (Honolulu Police Department Comment).***

***The Honolulu Fire Department commented that a fire department access road be provided such that any portion of the facility should not be located more than 150 feet from the access road, b) the fire department access road should extend to within 50 feet of at least one interior door that can be opened from the outside and that provides access to the interior of the building, c) a water supply approved by the county capable of supplying the required fire flow for fire protection.***

***As stated in the Draft Environmental Assessment, a fire hydrant will be installed at the end of the loading zone at the cafeteria on the western side of the campus. Fire flow will be provided by a new 8" fire service line from an existing fire hydrant on the eastern side of the campus.***

**A. No Action**

A No Action alternative is moot at this time.

**B. Alternative Locations**

An Alternative Location for the library is moot at this time.

Permits required for the project and responsible authorities are identified below. Additional permits and approvals may be required depending on final construction plans.

### **City and County of Honolulu**

#### Honolulu City Council

Special Management Area Permit  
\*State Land Use District Boundary Amendment

#### Honolulu Planning Commission

\*State Special Use Permit

#### Department of Planning and Permitting

Grubbing, Grading, and Stockpiling Permit  
Building Permit for Building, Electrical, Plumbing, Sidewalk/Driveway and Demolition Work  
Certificate of Occupancy  
Waiver (Building Height)

\* Note: The Department of Education ***will seek a State Special Use Permit for the Waialua Elementary School property. The Honolulu Planning Commission is the approving authority for a State Special Use Permit of less than 15 acres.***

***Alternatively, the agency may*** request a State Land Use District Boundary Amendment from the Agricultural to the Urban District for the Waialua Elementary School property. The Honolulu City Council is the approving authority for a land use district boundary amendment of less than 15 acres.

## 6

## AGENCIES AND ORGANIZATIONS CONSULTED IN THE ENVIRONMENTAL ASSESSMENT PROCESS

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***The Draft Environmental Assessment for the Waialua Elementary School Library / Media Center was published in the Office of Environmental Quality Control Environmental Notice of June 23, 2014. Publication initiated a 30-day public review period ending on July 23, 2014. The Draft Environmental Assessment was mailed to the agencies and organizations identified below requesting comments on the Draft Environmental Assessment. An asterisk \* identifies agencies and organizations that submitted written comments during the review period. All comment letters and responses are found in Appendix A.***

### State of Hawai'i

- Department of Health
  - \*Environmental Planning Office
- Department of Land and Natural Resources
  - Historic Preservation Division

### City and County of Honolulu

- \*Board of Water Supply
- \*Department of Parks and Recreation
- \*Department of Planning and Permitting
- \*Police Department
- \*Fire Department

### Others

- Hawaiian Electric Company, Inc.
- North Shore Neighborhood Board No. 27
- Waialua Community Association
- Waialua Public Library (Placement)

Chapter 200 (Environmental Impact Statement Rules) of Title 11, Administrative Rules of the State Department of Health, establishes criteria for determining whether an action may have significant effects on the environment (§11-200-12). The relationship of the proposed project to these criteria is discussed below.

**1) Involves an irrevocable commitment to loss or destruction of any natural or cultural resource;**

Natural and cultural resources will not be “lost” since none are present on the building site.

**2) Curtails the range of beneficial uses of the environment;**

The project does not curtail the beneficial uses of the environment.

**3) Conflicts with the state’s long-term environmental policies or goals and guidelines as expressed in chapter 344, Hawaii Revised Statutes, and any revisions thereof and amendments thereto, court decisions or executive orders;**

The project does not conflict with long-term environmental policies, goals, and guidelines of the State of Hawaii.

**4) Substantially affects the economic or social welfare of the community or State;**

The project will not substantially affect the economic or social welfare of the State. In the long-term the new library / media center will provide a facility to foster student learning, expose students to new and innovative curricula, and promote education in general.

**5) Substantially affects public health;**

Public health will not be adversely affected during construction. Short-term environmental impacts in the form of fugitive dust, noise from construction equipment, and minor erosion can be expected. These impacts will be mitigated by measures described in this Assessment and measures, such as BMPs for erosion control, to be submitted with construction plans and documents.

**6) Involves substantial secondary impacts, such as population changes or effects on public facilities;**

Population changes and effects on public facilities are not anticipated as a result of the project.

**7) Involves a substantial degradation of environmental quality;**

Because the library / media center already has been constructed, substantial degradation of environmental quality is not anticipated.

**8) Is individually limited but cumulatively has considerable effect upon the environment or involves a commitment for larger actions;**

Construction and long-term facility use will not result in significant adverse short and long-term environmental impacts or involve a commitment for a larger action.

**9) Substantially affects a rare, threatened or endangered species, or its habitat;**

Rare, threatened or endangered flora and fauna are not found on the building site or on the school grounds.

**10) Detrimentially affects air or water quality or ambient noise levels;**

Ambient air quality will be affected by fugitive dust and combustion emissions during construction but can be controlled by measures stipulated in this Assessment. Construction noise may be pronounced during site preparation work but should diminish once the structural improvements are completed. All construction activities will comply with air quality and noise pollution regulations of the State Department of Health.

Erosion control measures will be prescribed in grading plans and best management practices prepared for the project.

**11) Affects or is likely to suffer damage by being located in an environmentally sensitive area such as a flood plain, tsunami zone, beach, erosion-prone area, geologically hazardous land, estuary, fresh water, or coastal waters.**

The site of the library is not located in an environmentally sensitive area.

**12) Substantially affects scenic vistas and view planes identified in county or state plans or studies, or,**

Waialua Elementary School is neither identified as a visual resource nor located within scenic vistas or view planes identified in county or state plans.

**13) Requires substantial energy consumption.**

Energy will be required for the ventilation system and interior lighting.

## REFERENCES

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- Park, Gerald Urban Planner. September 2012, February 2013. *Field Observation*.
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***APPENDIX A ENVIRONMENTAL ASSESSMENT  
COMMENT LETTERS AND RESPONSES***



DEPARTMENT OF PARKS & RECREATION  
**CITY AND COUNTY OF HONOLULU**

1000 Uluehia Street, Suite 309, Kapolei, Hawaii 96707  
Phone: (808) 768-3003 • Fax: (808) 768-3053  
Website: www.honolulu.gov

KIRK CALDWELL  
MAYOR



June 20, 2014

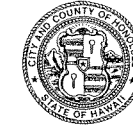


MICHELE K. NEKOTA  
DIRECTOR

JEANNE C. ISHIKAWA  
DEPUTY DIRECTOR

PETER B. CARLISLE  
MAYOR

OUR REFERENCE EO-WS



June 27, 2014



LOUIS M. KEALOHA  
CHIEF

DAVE M. KAJIHIRO  
MARIE A. MCCAULEY  
DEPUTY CHIEFS

Mr. Gerald Park  
Gerald Park Urban Planner  
95-595 Kanamee Street #324  
Mililani, Hawaii 96789

Mr. Gerald Park  
Gerald Park Urban Planner  
95-595 Kanamee Street, No. 324  
Mililani, Hawaii 96789

Dear Mr. Park:

Dear Mr. Park:

SUBJECT: Draft Environmental Assessment  
Waialua Elementary School Library/Media Center  
Tax Map Key: 6-7-001:010  
Portion of Kamananui, District of Waialua, Oahu, Hawaii

This is in response to your letter dated June 13, 2014, requesting comments on the Draft Environmental Assessment for the proposed Waialua Elementary School Library/Media Center project.

Thank you for the opportunity to review and comment on the subject Draft Environmental Assessment for the Waialua Elementary School Library/Media Center.

This project should have no significant impact on the services or operations of the Honolulu Police Department.

The Department of Parks and Recreation has no comment. As the proposed project will have no impact on any program or facility of the Department, you may remove us as a consulted party to the balance of the EIS process.

If there are any questions, please contact Acting Major Larry Lawson of District 2 (Wahiawa) at 723-8703 or via e-mail at [llawson@honolulu.gov](mailto:llawson@honolulu.gov).

Should you have any questions, please contact Mr. John Reid, Planner at 768-3017.

Sincerely,

Sincerely,

Michele K. Nekota  
Director

LOUIS M. KEALOHA  
Chief of Police

By   
RANDAL K. MACADANGDANG  
Assistant Chief  
Support Services Bureau

MKN:jr  
(567376)

NEIL ABERCROMBIE  
GOVERNOR OF HAWAII



STATE OF HAWAII  
DEPARTMENT OF HEALTH  
P. O. BOX 3378  
HONOLULU, HI 96801-3378

LINDA ROSEN, M.D., M.P.H.  
DIRECTOR OF HEALTH

In reply, please refer to:  
File:  
EPO 14-126

July 1, 2014

Mr. Gerald Park  
Urban Planner  
95-595 Kanamee Street, #324  
Mililani, Hawaii 96789



Dear Mr. Park:

**SUBJECT: Draft Environmental Assessment, Waiialua Elementary School Library/Media Center  
TMK: 6-7-001: 010, Portion of Kamanamui, District of Waiialua, Oahu, Hawaii**

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The Department of Health (DOH), Environmental Planning Office (EPO), acknowledges receipt of your letter dated June 13, 2014. Thank you for allowing us to review and comment on the subject document. The document was routed to the relevant Environmental Health divisions, branches, and offices. They will provide specific comments to you if necessary. EPO recommends that you review the standard comments at: <http://health.hawaii.gov/epo/home/landuse-planning-review-program/>. You are required to adhere to all applicable standard comments.

You may also wish to review the recently revised Water Quality Standards Maps that have been updated for all islands. The new Water Quality Standards Maps can be found at: <http://health.hawaii.gov/cwb/site-map/clean-water-branch-home-page/water-quality-standards/>.

The EPO suggests that you examine the many sources available on strategies to support the sustainable and healthy design of communities and buildings, including the:

U.H., School of Ocean and Earth Science and Technology: [www.soest.hawaii.edu](http://www.soest.hawaii.edu);

2014 National Climate Change Report – Highlights for Hawaii:

[http://ipcc-wg2.gov/AR5/images/uploads/WGIIAR5-Chap29\\_FGDall.pdf](http://ipcc-wg2.gov/AR5/images/uploads/WGIIAR5-Chap29_FGDall.pdf);

U.S. Health and Human Services: [www.hhs.gov/about/sustainability](http://www.hhs.gov/about/sustainability);

U.S. Environmental Protection Agency's sustainability programs: [www.epa.gov/sustainability](http://www.epa.gov/sustainability);

U.S. Green Building Council's LEED program: [www.usgbc.org/leed](http://www.usgbc.org/leed);

Smart Growth America: [www.smartgrowthamerica.org](http://www.smartgrowthamerica.org);

International Well Building Standard: <http://delosliving.com>; and


Intergovernmental Panel on Climate Change (IPCC):

[http://ipcc-wg2.gov/AR5/images/uploads/WGIIAR5-Chap29\\_FGDall.pdf](http://ipcc-wg2.gov/AR5/images/uploads/WGIIAR5-Chap29_FGDall.pdf)

The DOH encourages everyone to apply these sustainability strategies and principles early in the planning and review of projects. We also request that for future projects you consider conducting a Health Impact Assessment (HIA). More information is available at: [www.cdc.gov/healthyplaces/hia.htm](http://www.cdc.gov/healthyplaces/hia.htm) and [www.epa.gov/research/healthscience/health-impact-assessment.htm](http://www.epa.gov/research/healthscience/health-impact-assessment.htm).

We request you share all of this information with others to increase community awareness on sustainable, innovative, inspirational, and healthy community design.

Mahalo,

  
Laura Leialoha Phillips McIntyre, AICP  
Program Manager, Environmental Planning Office

**BOARD OF WATER SUPPLY**

CITY AND COUNTY OF HONOLULU  
630 SOUTH BERETANIA STREET  
HONOLULU, HI 96843



July 7, 2014

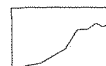
KIRK CALDWELL, Mayor

DUANE R. MIYASHIRO, Chair  
ADAM C. WONG, Vice Chair  
MAHEALANI CYPHER  
THERESIA C. McMURDO  
DAVID C. HULIHEE

ROSS S. SASAMURA, Ex-Officio  
FORD N. FUCHIGAMI, Ex-Officio

ERNEST Y. W. LAU, P.E.  
Manager and Chief Engineer

ELLEN E. KITAMURA, P.E.  
Deputy Manager and Chief Engineer *EL*



**GERALD PARK**  
Urban Planner

■  
Planning  
Land Use  
Research  
Environmental  
Studies

■  
95-595 Kanamee St  
#324  
Mililani, Hawaii  
96789

■  
Telephone:  
(808) 625-9626  
e-mail:  
gpark@gpup.biz

August 22, 2014

Ernest Y.W. Lau, P.E., Manager  
Board of Water Supply  
630 South Beretania Street  
Honolulu, Hawaii 96843

Dear Mr. Lau:

Subject: Waialua Elementary School Library/Media Center  
Tax Map Key 6-7-001: 010  
Portion of Kamananui, District of Waialua, O'ahu, Hawaii

Thank you reviewing and commenting on the Draft Environmental Assessment prepared for the subject project.

Information that the existing water system is adequate to accommodate the proposed project will be included in the Final Environmental Assessment. It is understood that the final decision on water availability will be confirmed when the building permit application is submitted for BWS review and approval.

The Department of Education is aware that Water System Facilities Charges will be assessed.

The participation of the Board of Water Supply in the environmental assessment review process is appreciated.

Sincerely,

GERALD PARK URBAN PLANNER

Gerald Park, Principal

c: R. Yamamoto, DOE - FDB  
K. Mitchell, KHMI

Mr. Gerald Park  
Gerald Park Urban Planner  
95-595 Kanamee Street #324  
Mililani, Hawaii 96789

Dear Mr. Park:

Subject: Your Letter Dated June 13, 2014 Requesting Comments on the  
Draft Environmental Assessment for the Waialua Elementary School  
Library/Media Center on Waialua Beach Road – Tax Map Key: 6-7-001: 010

Thank you for the opportunity to comment on the proposed library/media center.

The existing water system is adequate to accommodate the proposed elementary school addition. However, please be advised that this information is based upon current data, and therefore, the Board of Water Supply (BWS) reserves the right to change any position or information stated herein up until the final approval of the building permit application. The final decision on the availability of water will be confirmed when the building permit application is submitted for approval.

When water is made available, the applicant will be required to pay our Water System Facilities Charges for resource development, transmission and daily storage.

The on-site fire protection requirements should be coordinated with the Fire Prevention Bureau of the Honolulu Fire Department.

The proposed project is subject to BWS Cross-Connection Control and Backflow Prevention requirements prior to the issuance of the Building Permit Applications.

If you have any questions, please contact Robert Chun, Project Review Branch of our Water Resources Division at 748-5443.

Very truly yours,

  
ERNEST Y. W. LAU, P.E.  
Manager and Chief Engineer

HONOLULU FIRE DEPARTMENT  
**CITY AND COUNTY OF HONOLULU**

636 South Street  
Honolulu, Hawaii 96813-5007  
Phone: 808-723-7139 Fax: 808-723-7111 Internet: www.honolulu.gov/hfd

KIRK CALDWELL  
MAYOR



July 7, 2014

MANUEL P. NEVES  
FIRE CHIEF

LIONEL CAMARA JR.  
DEPUTY FIRE CHIEF



Mr. Gerald Park  
Gerald Park Urban Planner  
95-595 Kanamee Street, Unit 324  
Mililani, Hawaii 96789

Dear Mr. Park:

Subject: Draft Environmental Assessment  
Waialua Elementary School Library/Media Center  
Tax Map Key 6-7-001: 010  
Portion of Kamananui, District of Waialua, Oahu, Hawaii

In response to your letter of June 13, 2014, regarding the above-mentioned subject, the Honolulu Fire Department (HFD) requires that the following be complied with:

1. Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 feet from fire department access roads as measured by an approved route around the exterior of the building or facility. (National Fire Protection Association [NFPA] 1, Uniform Fire Code [UFC]<sup>TM</sup>, 2006 Edition, Section 18.2.3.2.2.)

A fire department access road shall extend to within 50 ft of at least one exterior door that can be opened from the outside and that provides access to the interior of the building. (NFPA 1, UFC<sup>TM</sup>, 2006 Edition, Section 18.2.3.2.1.)

2. A water supply approved by the county, capable of supplying the required fire flow for fire protection, shall be provided to all premises upon which facilities or buildings, or portions thereof, are hereafter constructed, or moved into or within the county. When any portion of the facility or building is in excess of 150 feet from a water supply on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains

Mr. Gerald Park  
Page 2  
July 7, 2014

capable of supplying the required fire flow shall be provided when required by the AHJ [Authority Having Jurisdiction]. (NFPA 1, UFC<sup>TM</sup>, 2006 Edition, Section 18.3.1, as amended.)

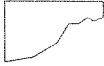
3. The unobstructed width and unobstructed vertical clearance of a fire apparatus access road shall meet county requirements. (NFPA 1, UFC<sup>TM</sup>, 2006 Edition, Section 18.2.3.4.1.1, as amended.)
4. Submit civil drawings to the HFD for review and approval.

Should you have questions, please contact Battalion Chief Terry Seelig of our Fire Prevention Bureau at 723-7151 or tseelig@honolulu.gov.

Sincerely,

LIONEL CAMARA JR.  
Deputy Fire Chief

LCJ/DB:bh



GERALD PARK  
Urban Planner

Planning  
Land Use  
Research  
Environmental  
Studies

95-595 Kanamee St  
#324  
Mililani, Hawaii  
96789

Telephone:  
(808) 625-9626

e-mail:  
gpark@gpup.biz

August 22, 2014

Manual P. Neves, Fire Chief  
Fire Department  
City and County of Honolulu  
636 South Street  
Honolulu, Hawai'i 96813-5007

Dear Chief Neves:

Subject: Waiialua Elementary School Library/Media Center  
Tax Map Key 6-7-001: 010  
Portion of Kamananui, District of Waiialua, O'ahu, Hawai'i

Thank you reviewing and commenting on the Draft Environmental Assessment prepared for the subject project. In response to your comment, the following is offered.

A fire hydrant will be installed at the end of the loading zone for the cafeteria near the western edge of campus. An 8" fire service line will connect the new fire hydrant to an existing fire line on the eastern side of the campus. Approximately 480 lineal feet of piping will be installed traversing beneath an existing lawn and play area, driveways, and parking areas at the front of the school.

The layout of the proposed fire flow line is depicted on the attached drawing.

Civil drawings will be submitted to the Honolulu Fire Department for review and approval as requested.

The participation of the Honolulu Fire Department in the environmental assessment review process is appreciated.

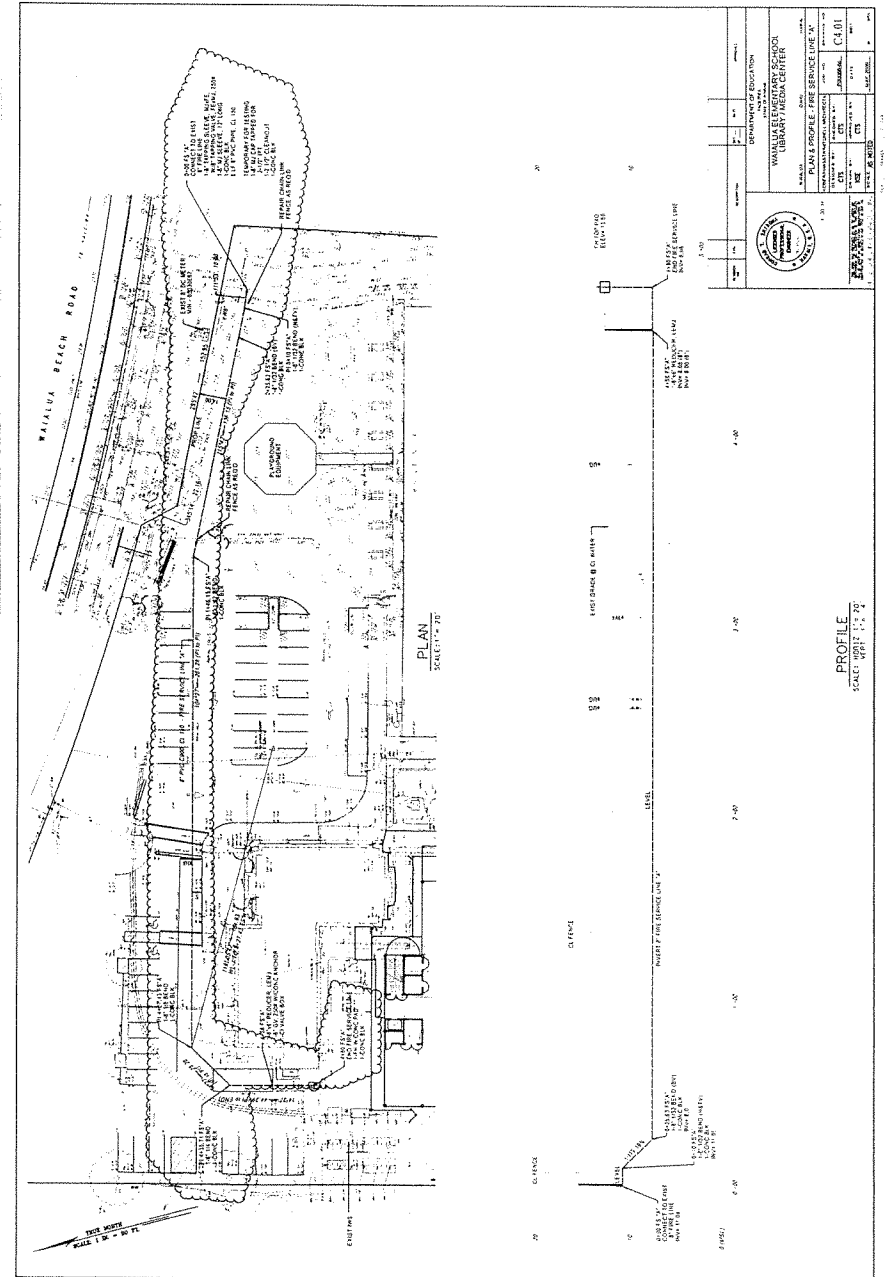
Sincerely,

GERALD PARK URBAN PLANNER

Gerald Park, Principal

Enclosure: Sheet C4.01 Plan and Profile Fire Service Line "A")

c: R. Yamamoto, DOE - FDB  
K. Mitchell, KHMI



DEPARTMENT OF PLANNING AND PERMITTING  
**CITY AND COUNTY OF HONOLULU**  
650 SOUTH KING STREET, 7<sup>TH</sup> FLOOR • HONOLULU, HAWAII 96813  
PHONE: (808) 768-8000 • FAX: (808) 768-6041  
DEPT. WEB SITE: [www.honolulu.gov](http://www.honolulu.gov) • CITY WEB SITE: [www.honolulu.gov](http://www.honolulu.gov)

KIRK CALDWELL  
MAYOR



GEORGE I. ATTA, FAICP  
DIRECTOR  
ARTHUR D. CHALLACOMBE  
DEPUTY DIRECTOR

August 22, 2014

2014/ELOG-1095 (TH)

Mr. Gerald Park  
Gerald Park Urban Planner  
95-595 Kanamee Street, Number 324  
Mililani, Hawaii 96789

8-26-14

Dear Mr. Park:

We have reviewed the Draft Environmental Assessment (DEA) for the Waialua Elementary School Library/Media Center and offer the following comments.

1. Our records show that construction of the Library/Media Center has begun, if not completed without all necessary permits. Further, we question why the DEA was written as if the Library/Media Center was a "proposed project" when in reality it is an after-the-fact project that has been completed.
2. The project site is located within the North Shore Sustainable Communities Plan (SCP) area. The project site is located on land designated as "Agriculture" and is located within the North Shore SCP's Community Growth Boundary.
3. We concur that the project site is located on land currently zoned AG-1 Restricted Agricultural District. Public schools are considered "public uses and structures" in accordance with Article 10 of the Land Use Ordinance. As such, public schools are permitted uses in all zoning districts.
4. We also concur that the proposed project will need a waiver for height because the project's height exceeds the 25-foot maximum height limit for the AG-1 Restricted Agricultural District. The project site is also within the Special Management Area (SMA) and will need an SMA permit. Since other waivers or approvals may be needed, please contact the Department of Planning and Permitting's Land Use Permits Division at 768-8011.
5. We concur that the project site is entirely located in the State Agricultural District and that public schools are not an allowed use in the State Agricultural District.

Since the project is part of the existing Waialua Elementary School, the land it occupies, Tax Map Key (TMK): 6-7-001:010, is unlikely to be returned to an agricultural use. Therefore, we agree with the discussion on Page 32 of the DEA stating that the Department of Education will request to reclassify the entire 6.9-acre parcel from the

Mr. Gerald Park  
August 22, 2014  
Page 2

Agricultural District to the Urban District to bring the entire school property into conformance with Chapter 205, Hawaii Revised Statutes.

6. We are unable to issue a Temporary Certificate of Occupancy until a boundary amendment to the Urban District and other required permits are approved.

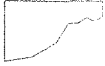
Thank you for the opportunity to comment on this matter. Should you have any questions, please contact Tim Hata of our staff at 768-8043.

Very truly yours,

A handwritten signature in cursive script, appearing to read "George I. Atta".

George I. Atta, FAICP  
Director

GIA:js



GERALD PARK  
Urban Planner



Planning  
Land Use  
Research

Environmental  
Studies



95-595 Kamanui  
#324  
Miliani, Hawaii  
96789



Telephone:  
(808) 625-9626

e-mail:  
gpark@gpup.org

February 2, 2015

George I. Atta, FAICP, LEED AP, CEI, Director  
Department of Planning and Permitting  
City and County of Honolulu  
650 South King Street, 7<sup>th</sup> Floor  
Honolulu, Hawai'i 96813

Dear Director Atta:

**Subject:** Waialua Elementary School Library/Media Center  
Tax Map Key 6-7-001: 010  
Portion of Kamananui, District of Waialua, O'ahu, Hawai'i  
2014/ELOG-1095 (TH)

Thank you reviewing and commenting on the Draft Environmental Assessment prepared for the subject project. Our responses are offered in the order your comments were presented.

1. The author of the Draft Environmental Assessment preferred writing the document as a proposed rather than after-the-fact project.
2. Response not required.
3. Response not required.
4. Response not required.
5. As pointed out in this comment, a request to reclassify the entire 6.9 acre parcel from the state Agricultural District to the Urban District was discussed on page 32 of the Draft EA. A State Special Use Permit also was identified as a permit option on page 34 of the Draft EA.

At this time, the Department of Education will seek a State Special Use Permit for the entire school property.

6. Thank you for the update on issuing a Temporary Certificate of Occupancy.

Please accept my sincerest apology for this late reply to your comments of August 22, 2014. Should you have any questions please contact me at 625-9626.

Sincerely,

GERALD PARK URBAN PLANNER

  
Gerald Park

c: R. Yamamoto, DOE-PM

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